

Revision #

Date ##/##/200#, By (name)
1. (revision Description)



*Plan 2517
(Roosevelt)*

REVISIONS

2517

AN RBA, INC. COMPANY
LIFESTYLE USA DESIGN
INNOVATIVE LEADERS IN QUALITY & AFFORDABLE
RESIDENTIAL DESIGN
1864 W. Gray, Suite 200, Houston, Texas 77019
Office (713) 524-2921 Fax (713) 524-8335
E-mail: lusa@lifestyleusa.com

Cover Sheet

SHEET NO.

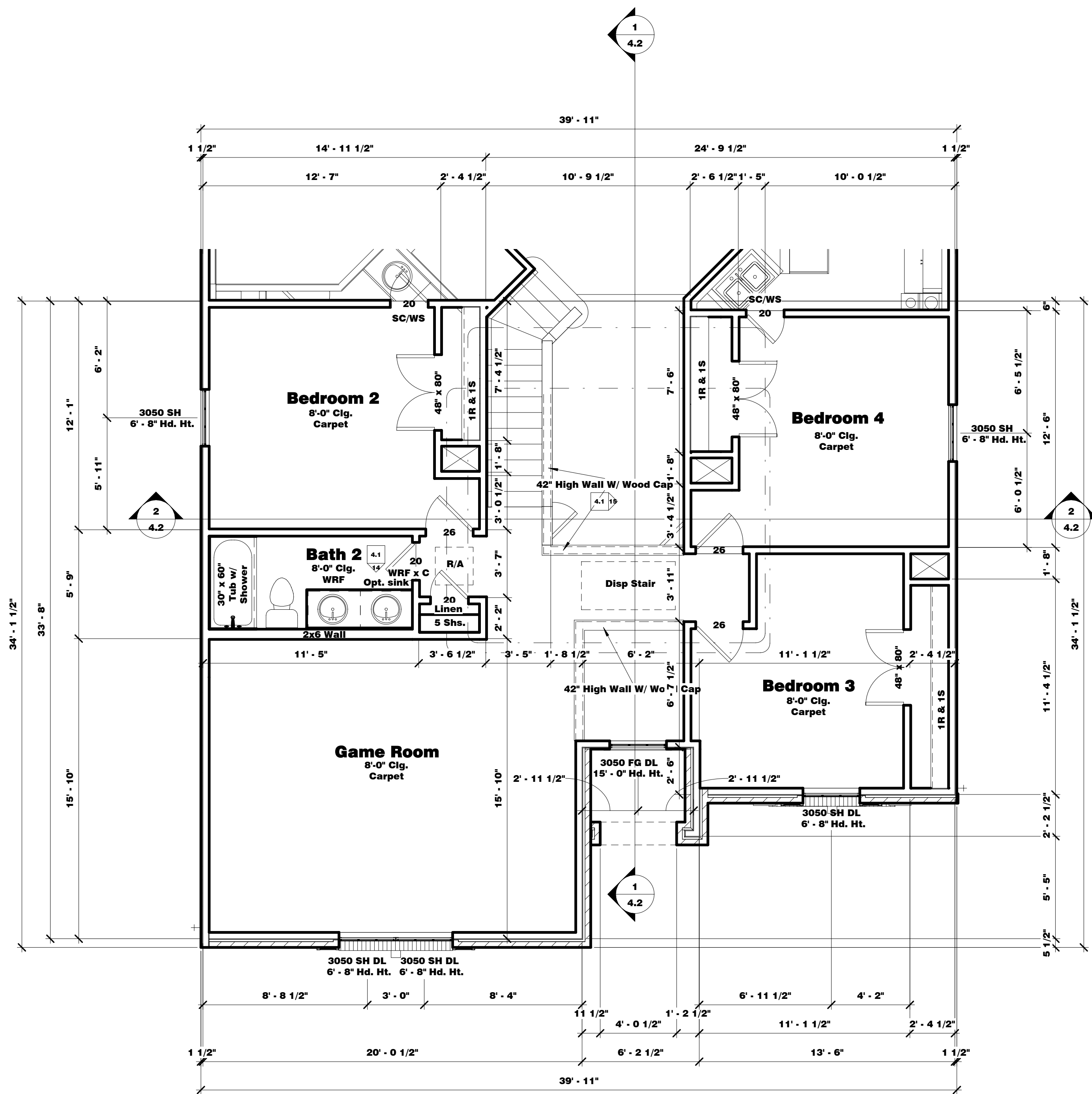
1.1

Plan Name
Roosevelt
Collection
Traditions
JOB NO.
406012
DATE
08/10/2004

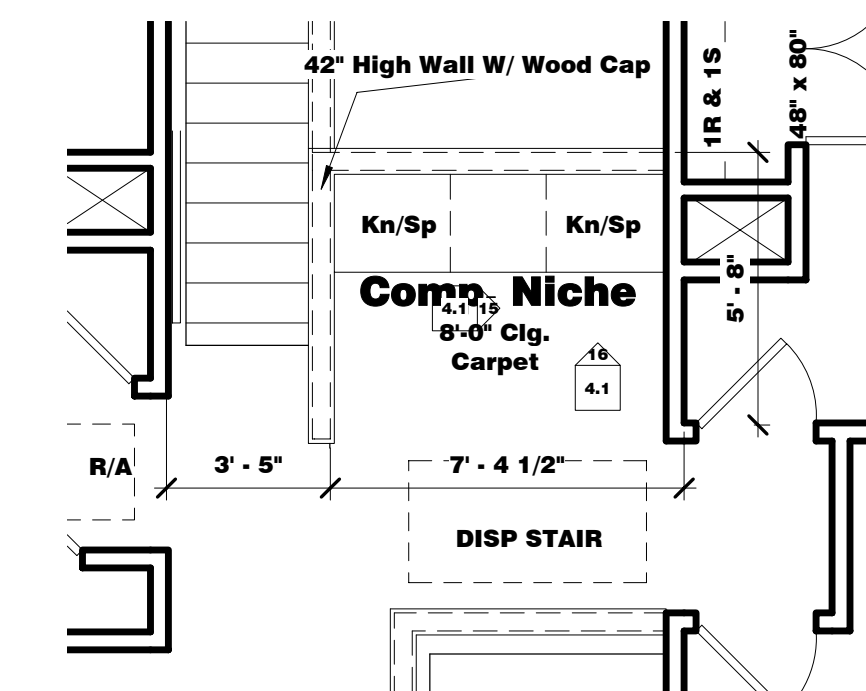
Marketing Area	Insulated Area	Trim Paint Clean Area	Slab @ "A" Elev.	Frame @ "A" Elev.	Garage	Garage Frame	Optional Covered Patio
1st Floor	1459 SF	1435 SF	1380 SF	1910 SF	1472 SF	420 SF	398 SF
2nd Floor	1033 SF	985 SF	928 SF	0 SF	1007 SF	0 SF	0 SF
Grand total	2492 SF	2420 SF	2307 SF	1910 SF	2479 SF	420 SF	398 SF

"A" Elevation	"B" Elevation	"C" Elevation	"D" Elevation	"A" Elevation 3-Car	"B" Elevation 3-Car	"C" Elevation 3-Car	"D" Elevation 3-Car
1st Floor	1457 SF	1457 SF	1457 SF	0 SF	0 SF	0 SF	0 SF
2nd Floor	1033 SF	1033 SF	1033 SF	0 SF	0 SF	0 SF	0 SF
Garage	413 SF	413 SF	413 SF	0 SF	0 SF	0 SF	0 SF
Opt Cov'd Patio	50 SF	50 SF	50 SF	0 SF	0 SF	0 SF	0 SF
Porch	28 SF	28 SF	111 SF	0 SF	0 SF	0 SF	0 SF
Grand total	2981 SF	2980 SF	3064 SF	0 SF	0 SF	0 SF	0 SF

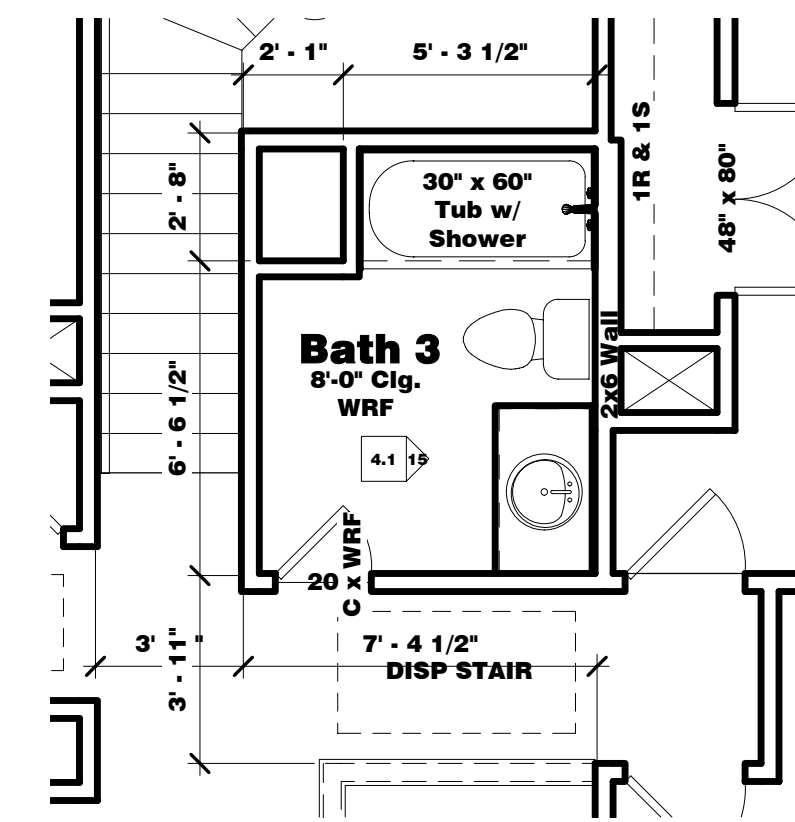
Drawing Index		
Sheet #	Sheet Revision Date	Sheet Name
1.1	08/10/04	Cover Sheet
2.1	08/10/04	1st Floor Plan
2.2	08/10/04	2nd Floor Plan
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3.1B	08/10/04	Elevations - "B"
3.1C	08/10/04	Elevations - "C"
3.2	08/10/04	Opt. Covered Patio
4.1	08/10/04	Interior Elevations
4.2	08/10/04	Building Cross Section(s)
5.1	08/10/04	1st Floor Plan - Electrical
5.2	08/10/04	2nd Floor Plan - Electrical
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7.1A	08/10/04	Optional Framing - All Elevations
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7.1C	08/10/04	Roof Framing Elev - B
7.1D	08/10/04	Roof Framing Elev - C



1 Second Floor
1/4" = 1'-0"



3 Option - Computer Niche
1/4" = 1'-0"



4 Option - Bath 3
1/4" = 1'-0"

GENERAL NOTES:
(UNLESS OTHERWISE SPECIFIED.)

1. WRITTEN DIMENSIONS AND SPECS PREVAIL OVER SCALED DIMENSIONS AND VISUAL APPEARANCES.
2. ALL CEILING HEIGHTS ARE 9'-0" AT 1ST FLOOR AND 8'-0" AT 2ND FLOOR (U.O.S.)
3. ALL WINDOW HEADERS ARE 6'-8" (U.O.S.)
4. PROVIDE BLOCKING FOR FANS, TOWEL BARS, TOWEL RINGS, T.P. HOLDERS AND WALL CABINETS.
5. PROVIDE 5/8" TYPE "X" GYPSUM BOARD IN GARAGE AND ANY SPACE ACCESSIBLE UNDERNEATH STAIRS.
6. SET WTR. HTR. IN MTL. PAN W/ RELIEF LINE TO OUTSIDE. LOCATE IN ATTIC WHERE ALLOWED BY LOCAL CODE OR PER PLAN SET ON 20"Wx20"Wx20"H PLATFORM WHERE OTHERWISE REQ'D. BY LOCAL CODE. ENCLOSE IN CLOSET WHEN REQ'D. BY LOCAL CODE.
7. 5 SHELVES @ PANTRY & LINEN CLOSETS, W/ TOP SHELF @ 16" DEEP & BOTTOM 4 @ 24" DEEP, WHERE POSSIBLE.
8. GLAZING PER I.R.C. 2000 SECTION R308, OR APPLICABLE GOVERNING CODE. SAFETY/ TEMPERED GLASS SHALL BE INSTALLED IN LOCATIONS DEFINED AS HAZARDOUS BY APPLICABLE GOVERNING CODE.
9. ALL CONTRACTORS SHALL REVIEW PLANS AND NOTIFY BUILDER OF ANY REQUIRED CHANGES PRIOR TO COMMENCEMENT OF CONSTRUCTION.

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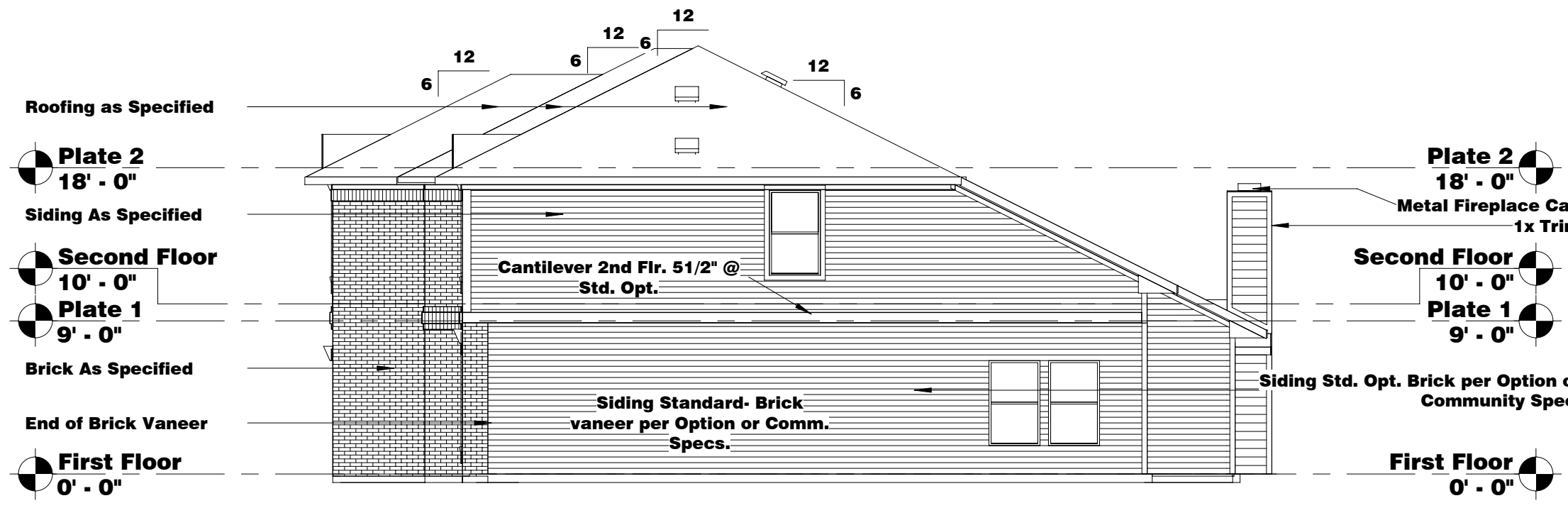
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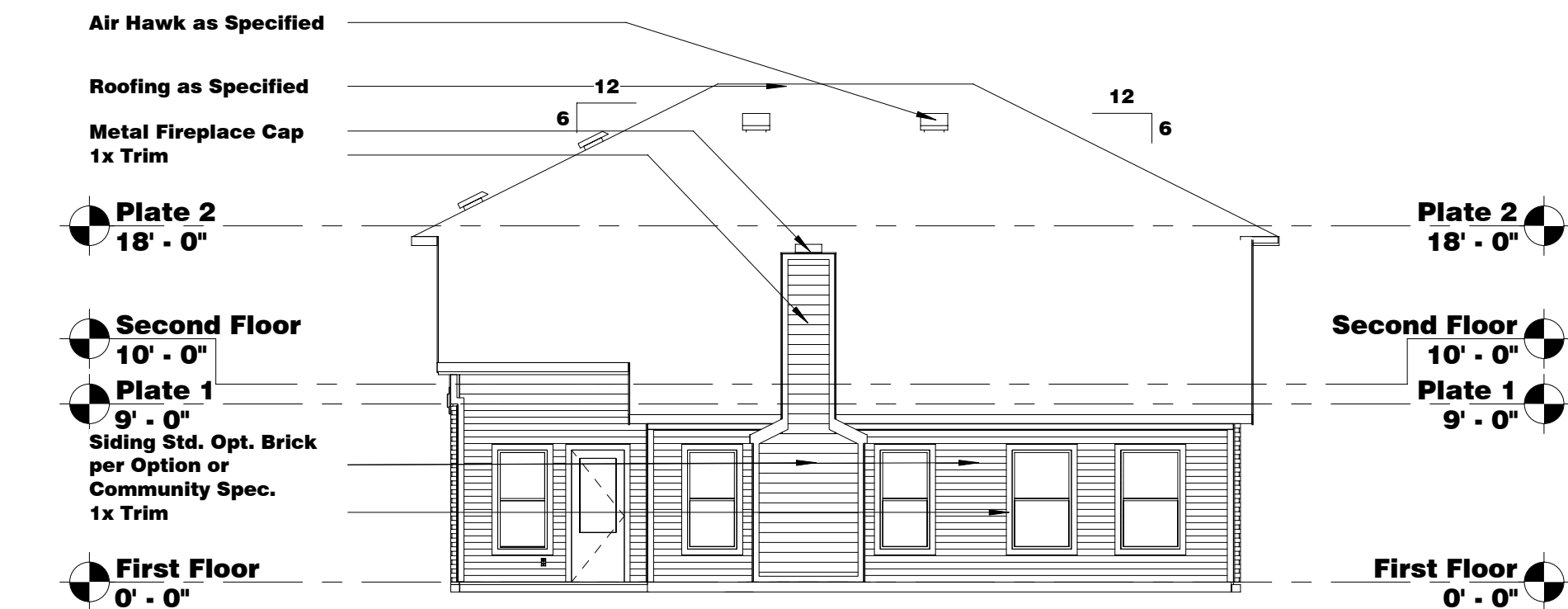
2nd Floor Plan

SHEET NO.
2.2

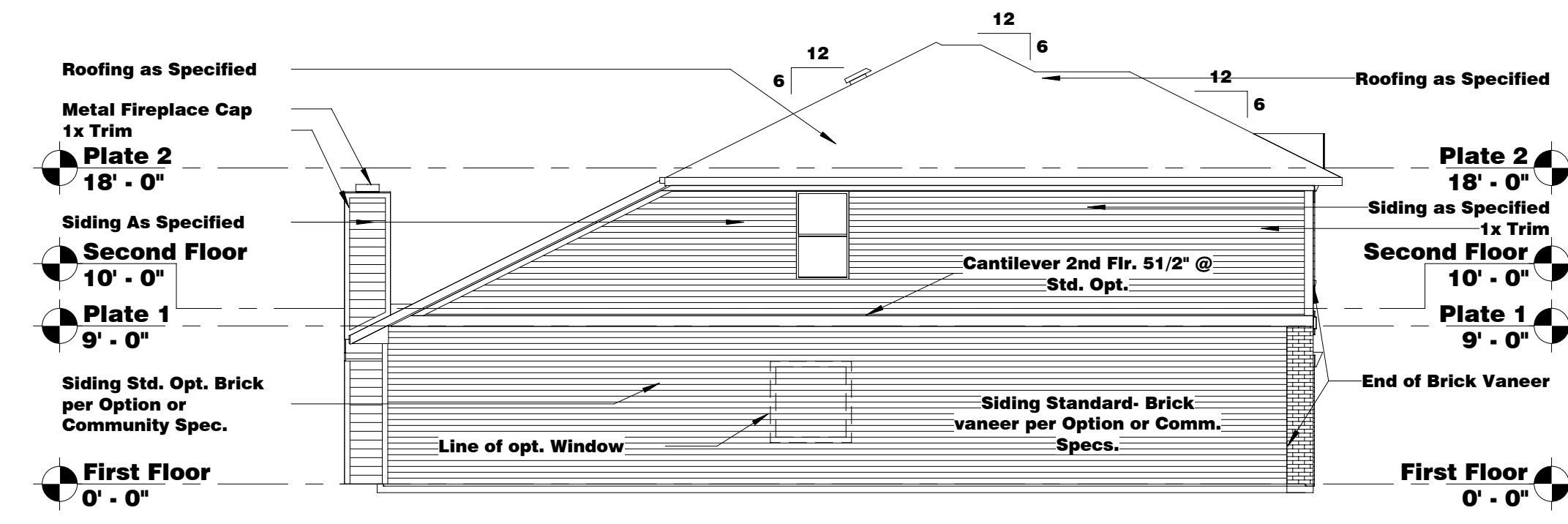
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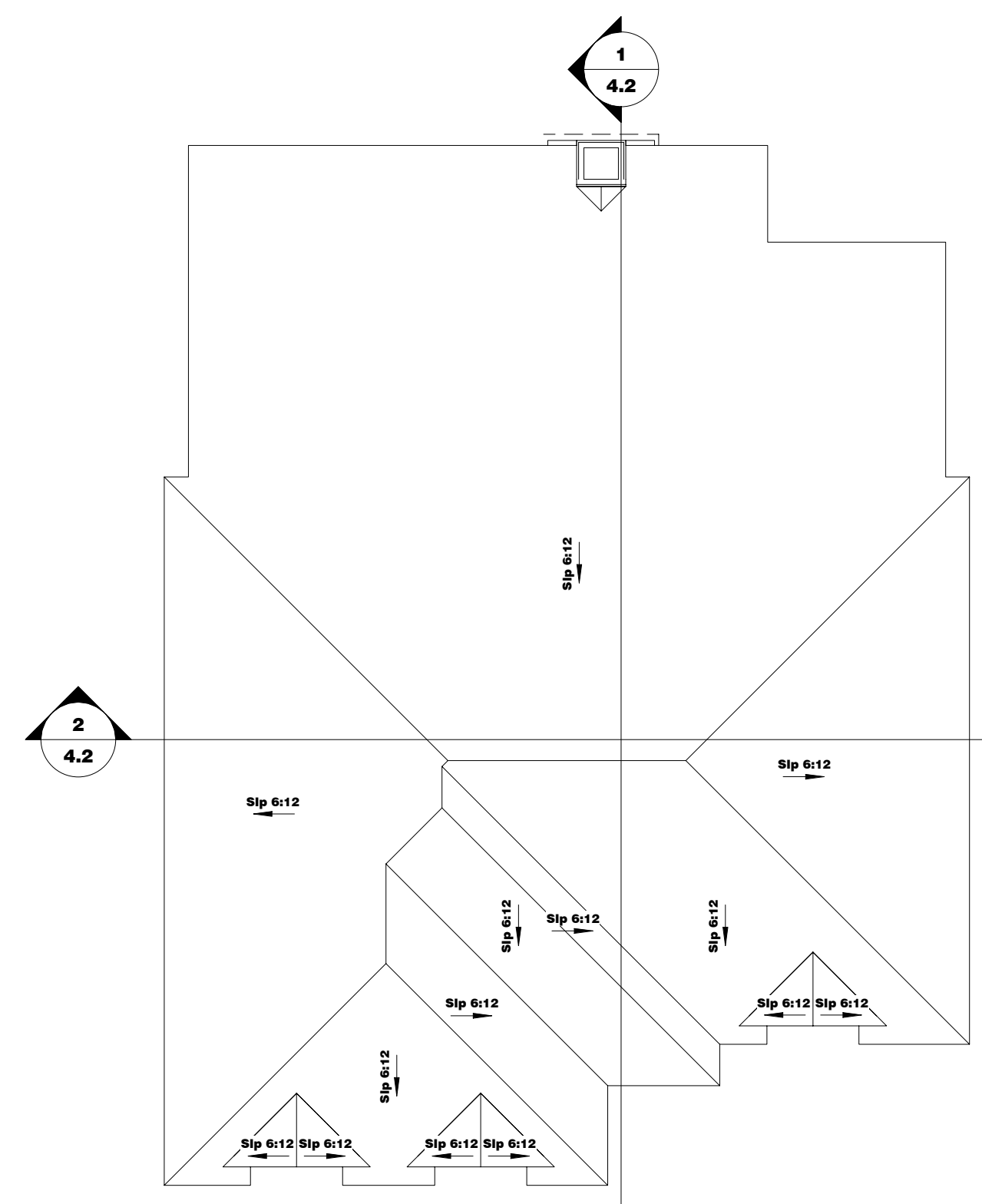
6 Right Elevation
1/8" = 1'-0"



5 Rear Elevation
1/8" = 1'-0"



4 Left Elevation
1/8" = 1'-0"

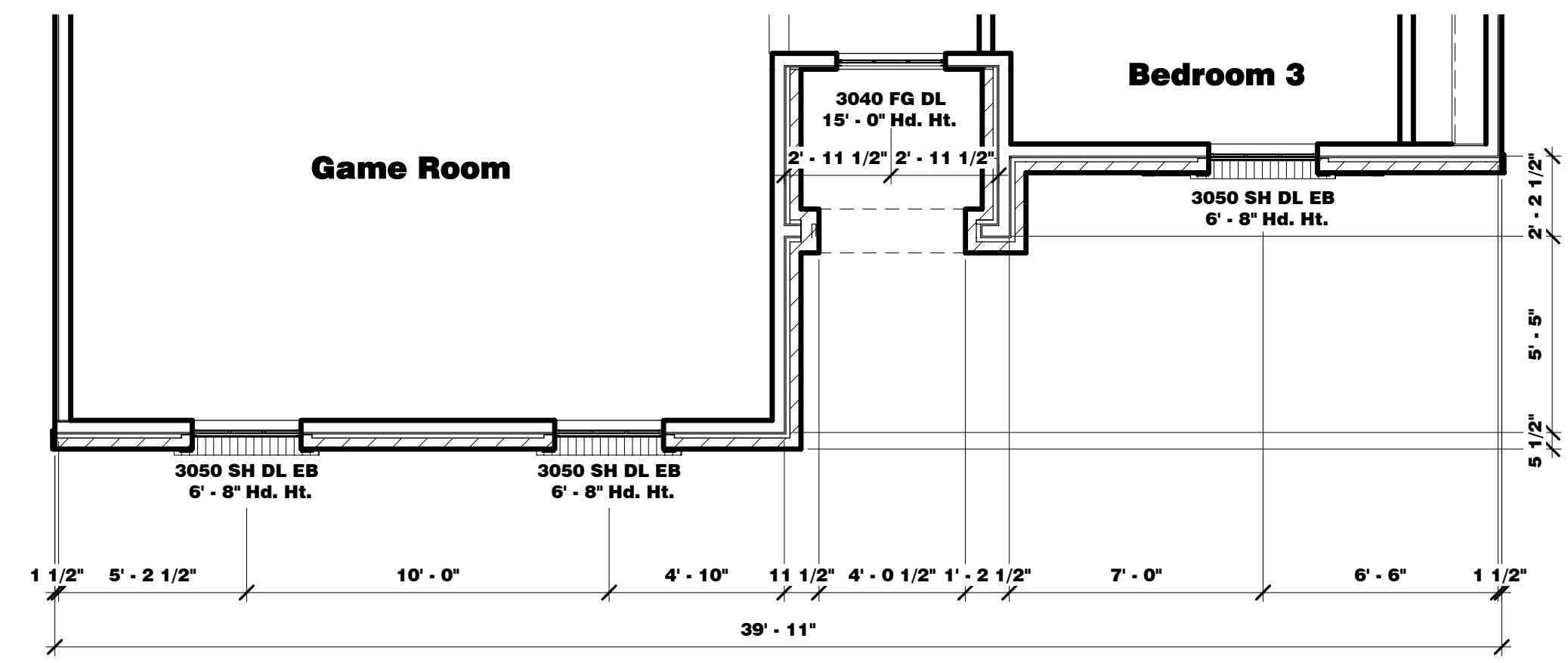


7 Roof Plan
1/8" = 1'-0"

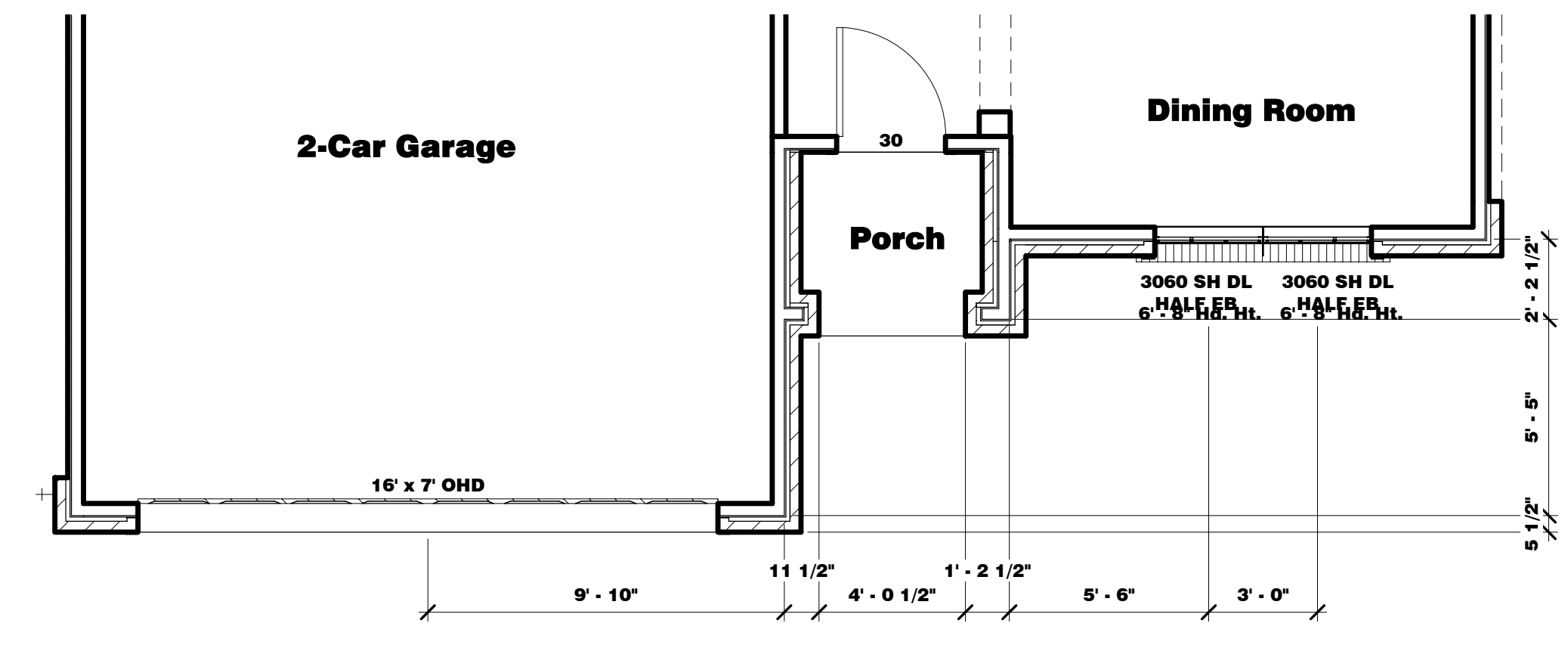
- General Notes : Elevations**
(unless otherwise specified)
(revised 8-10-04)
- MIN. 6" TO GRADE AT BRICK. SLOPE GRADE AWAY FOR PROPER DRAINAGE. (SEE SITE PLAN FOR GRADE ELEVATIONS.)
 - MASON TO PROVIDE 3/8" RAKE JOINT.
 - BRICK PROJECTIONS ARE IN 7/8" INCREMENTS.
 - PLACE BRICK VANEER DIRECTLY ON PORCH SURFACE - DELETE BRICK LEDGE AS REQUIRED.
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- General Notes : Steel Lintel(s)**
(unless otherwise specified)
(revised 8-10-04)
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 - LINTELS SHALL BEAR 6" MIN. IN MASONRY AT EACH END.
 - LINTELS SHALL BE COATED IN ACCORDANCE WITH LOCAL BLDG. CODE(S) REQUIREMENTS FOR CORROSION RESISTANCE.
 - LINTELS SHALL BE SIZED BY A LICENSED ENGINEER.
 - LINTELS SHALL BE BOLTED TO THE HEADER AS SPECIFIED BY ENGINEER.

- General Notes : Masonry**
(unless otherwise specified)
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- MASONRY TIES - (SIZE AND SPACING) MASONRY VENEER SHALL BE ANCHOR TO THE SUPPORTING WALL WITH CORROSION RESISTANT METAL TIES. IRC R703.7.3. VENEER TIES IF STRAND WIRE, SHALL BE NOT LESS THAN NO.9 U.S. GAUGE WIRE OR IF SHEET METAL SHALL NOT BE LESS THAN NO.22 GAUGE BY 7/8 INCH (22.3 MM) CORRUGATED. EACH TIE SHALL BE SPACED NOT MORE THAN 24 INCHES (610 MM) ON CENTER HORIZONTALLY AND SHALL SUPPORT NOT MORE THAN 3-1/4 SQUARE FEET (0.302 M2) OF WALL AREA. WEEP HOLES SHALL BE PROVIDED IN THE OUTSIDE WIDTH OF MASONRY WALLS AT A MAXIMUM SPACING OF 33 INCHES (838 MM) ON CENTER. SHALL NOT BE LESS THAN 3/8 INCH (1.6 MM) IN DIAMETER AND SHALL BE LOCATED IMMEDIATELY ABOVE THE FLASHING. IRC SECTION R703.7.4.1
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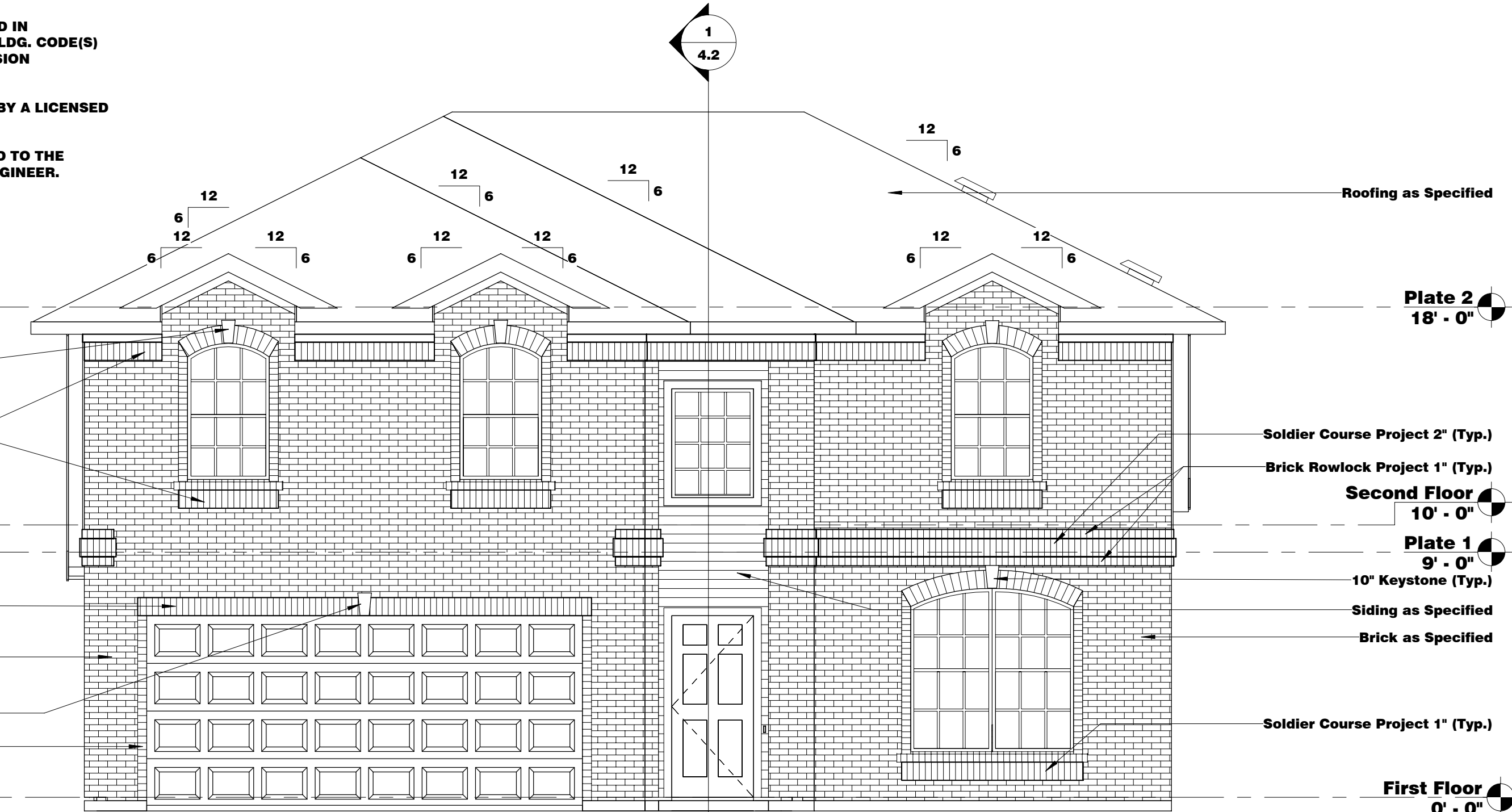
- Plate 2 18'-0"
- 10" Keystone
- Soldier Course Project 1" (Typ.)
- Second Floor 10'-0"
- Plate 1 9'-0"
- Soldier Course Project 1" (Typ.)
- Brick As Specified
- 10" Keystone
- Brick Rowlock Project 1" (Typ.)
- First Floor 0'-0"



2 Partial 2nd Floor Plan
1/4" = 1'-0"



1 Partial 1st Floor Plan
1/4" = 1'-0"



3 Front Elevation "B"
1/4" = 1'-0"

REVISIONS

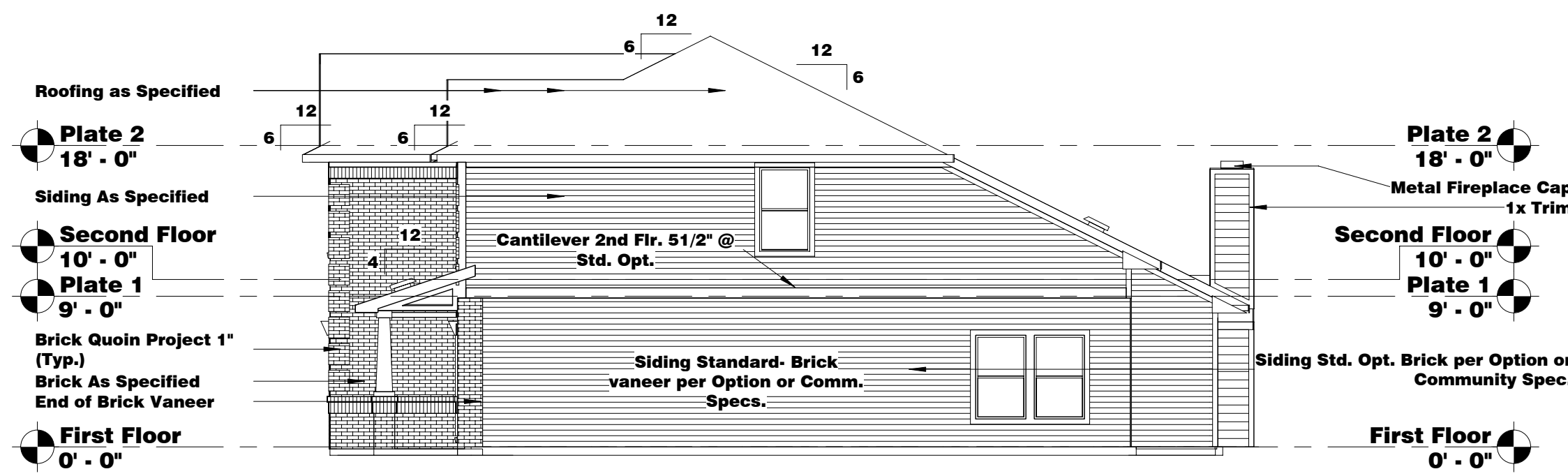
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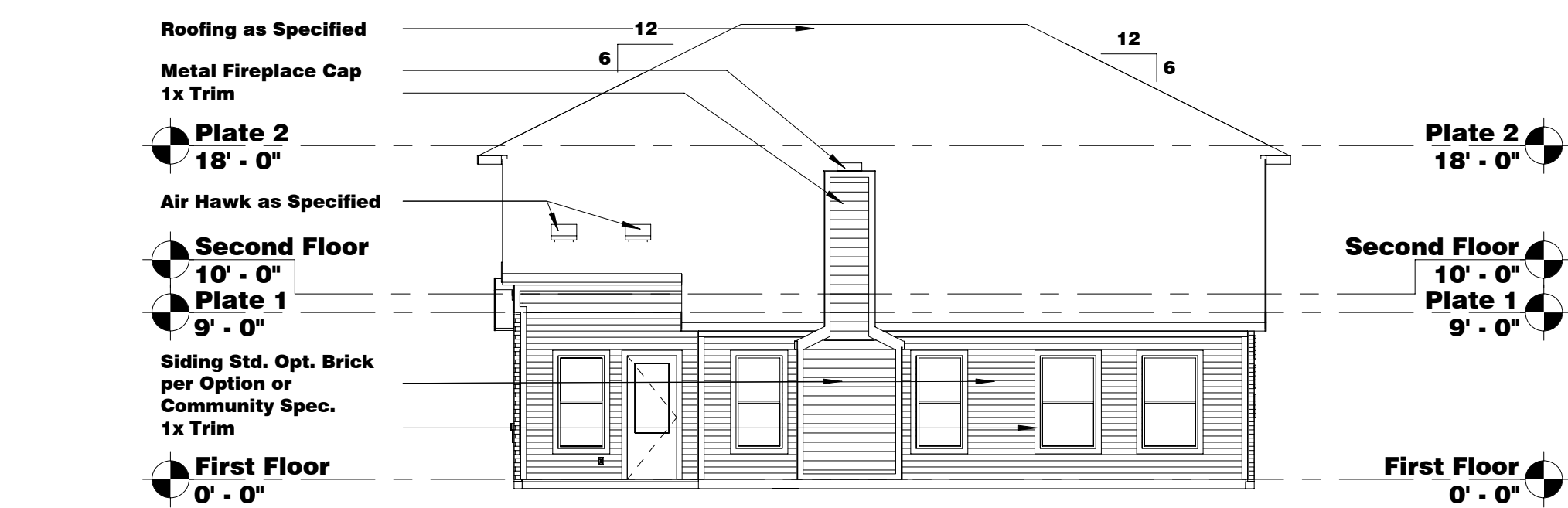
Elevations - "B"

SHEET NO.
3.1B

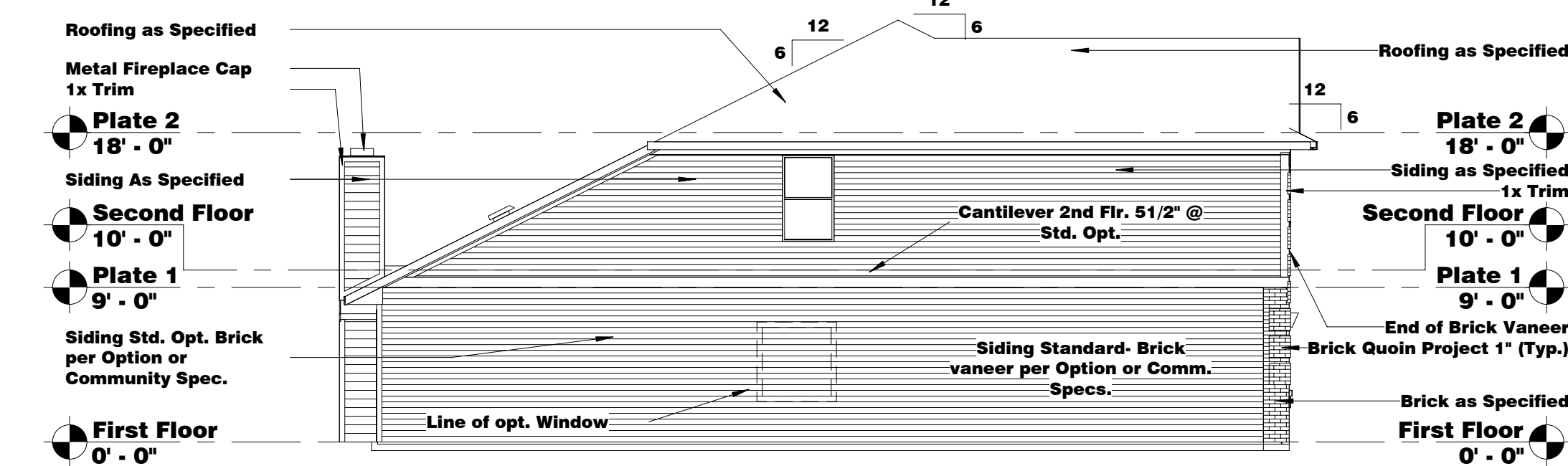
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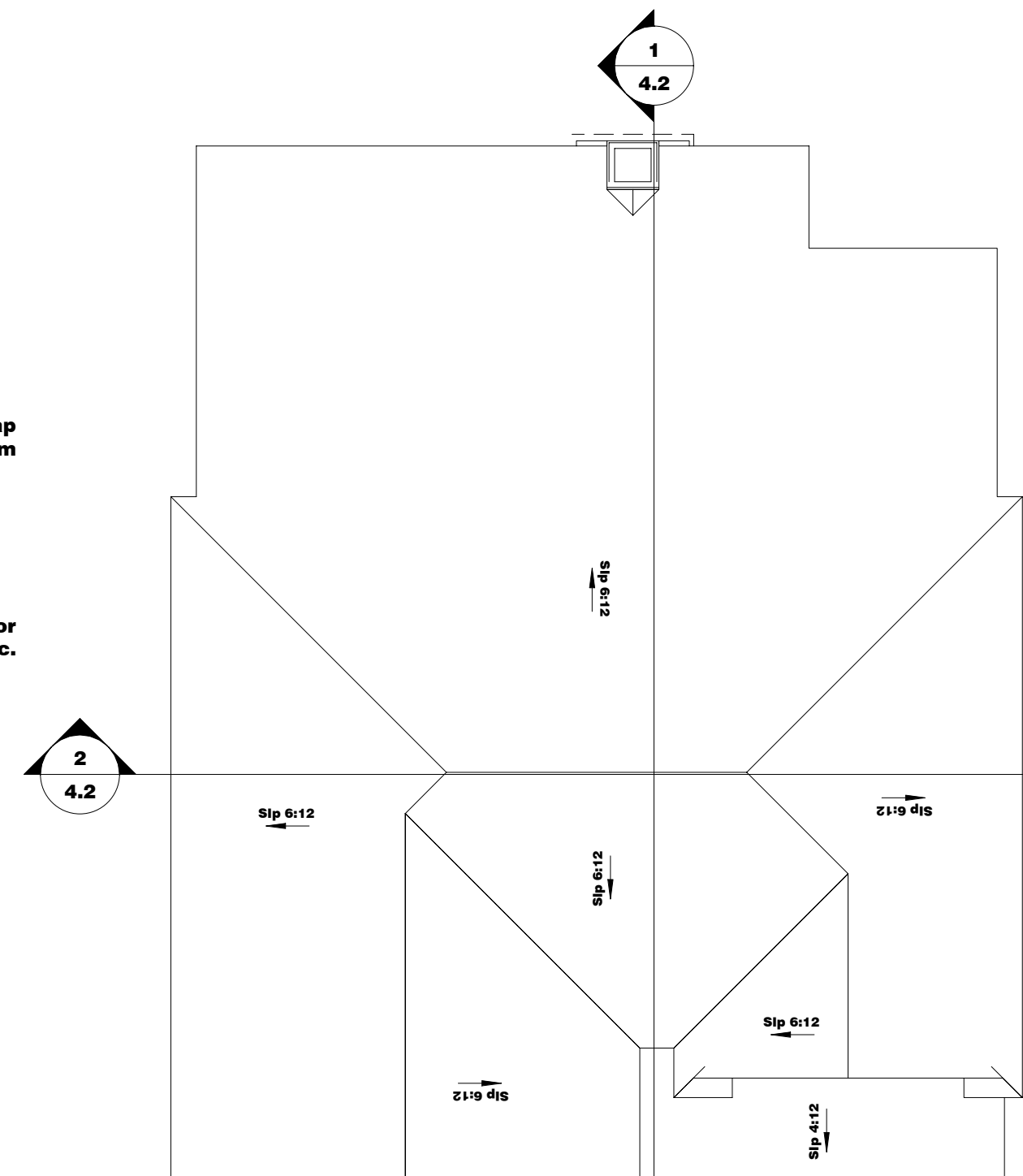
6 Right Elevation
1/8" = 1'-0"



5 Rear Elevation
1/8" = 1'-0"



4 Left Elevation
1/8" = 1'-0"



7 Roof Plan
1/8" = 1'-0"

General Notes : Elevations
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(revised 8-10-04)

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General Notes : Masonry
(unless otherwise specified)
(revised 8-10-04)

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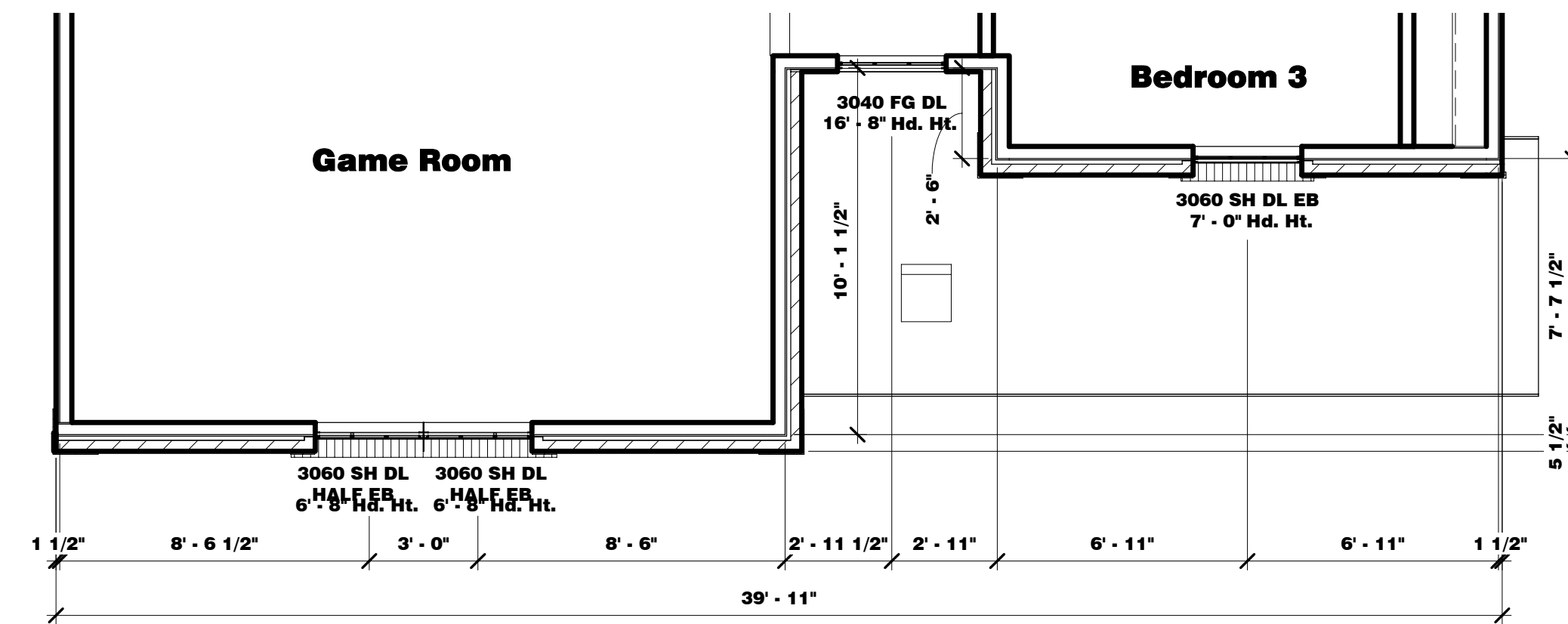
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General Notes : Steel Lintel(s)
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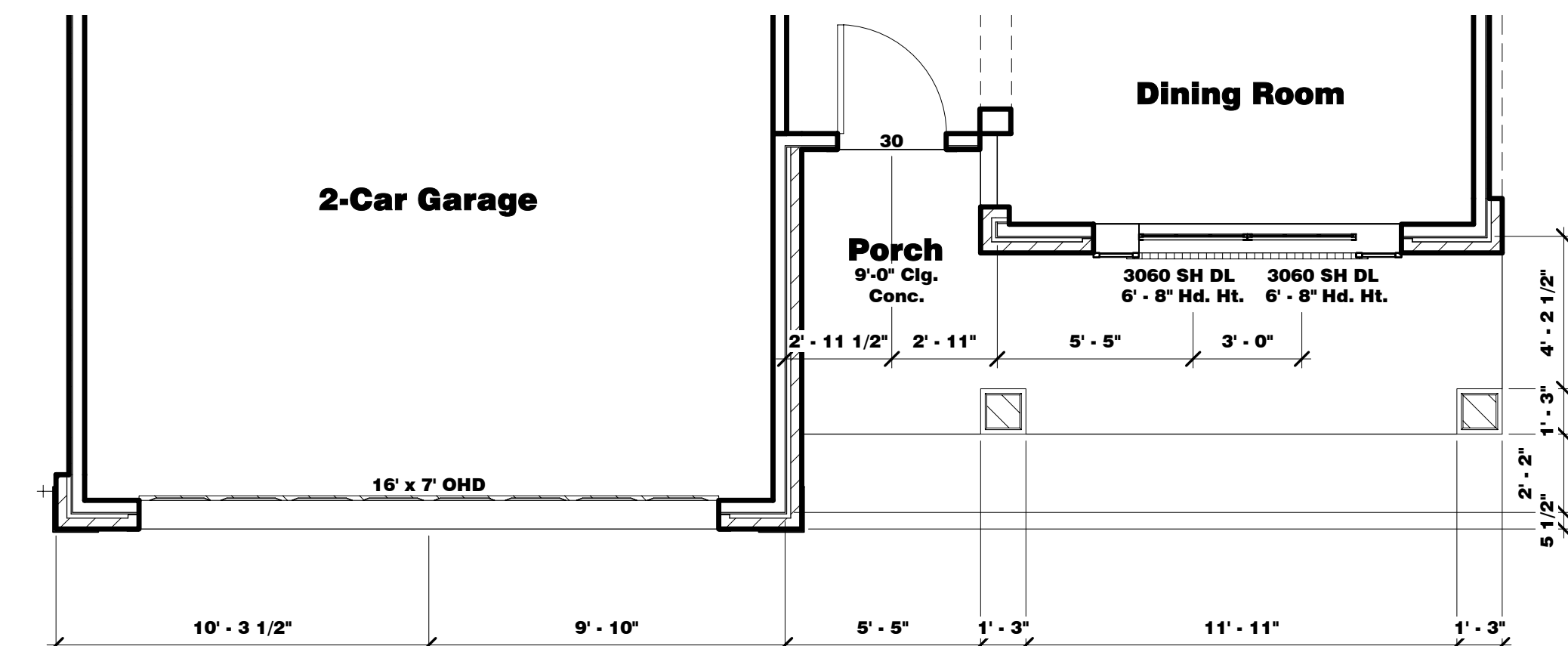
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3 Front Elevation "C"
1/4" = 1'-0"



2 Partial 2nd Floor Plan
1/4" = 1'-0"



1 Partial 1st Floor Plan
1/4" = 1'-0"

REVISIONS

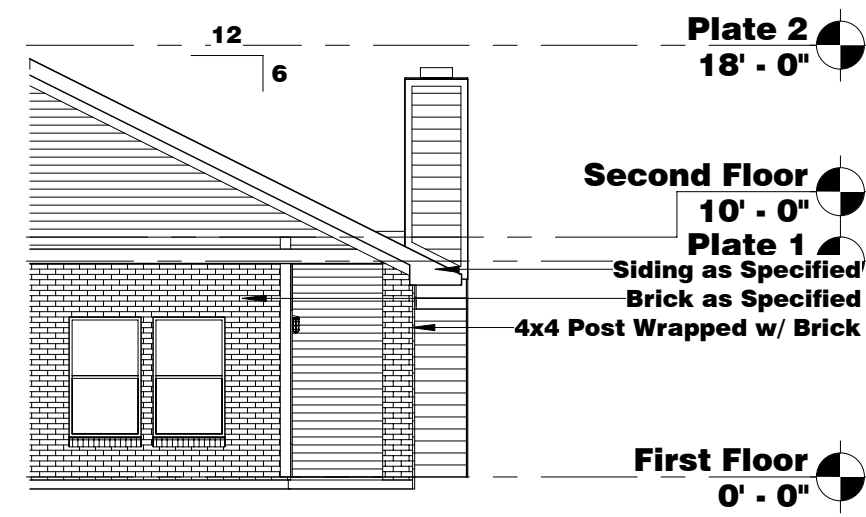
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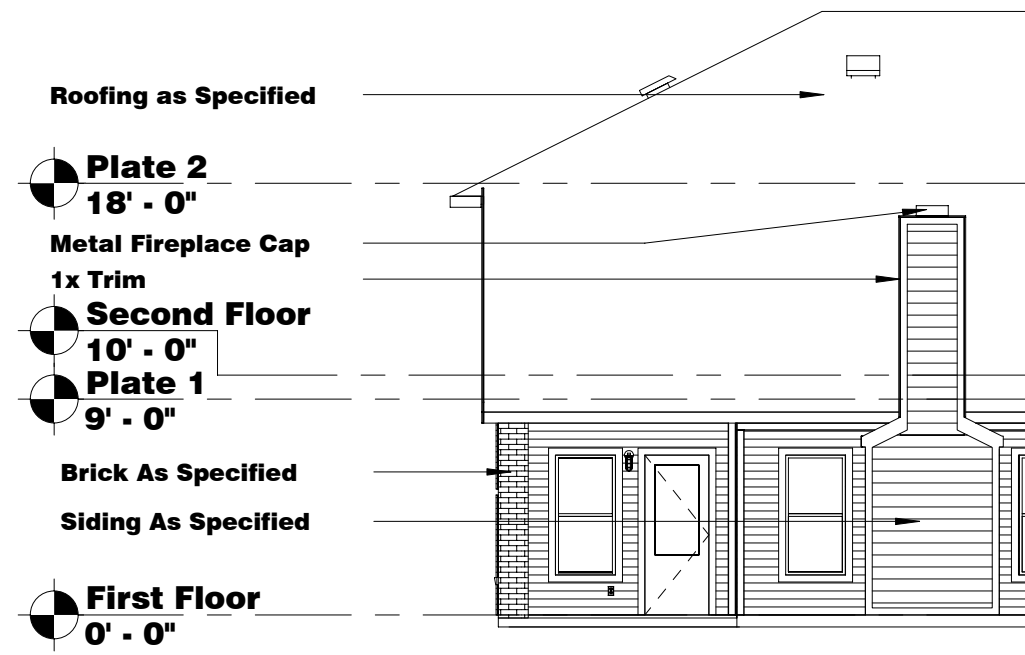
Elevations - "C"

SHEET NO.
3.1C

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3 Right Elevation - Opt. Covered Patio
 1/8" = 1'-0"



2 Rear Elevation - Opt. Covered Patio
 1/8" = 1'-0"

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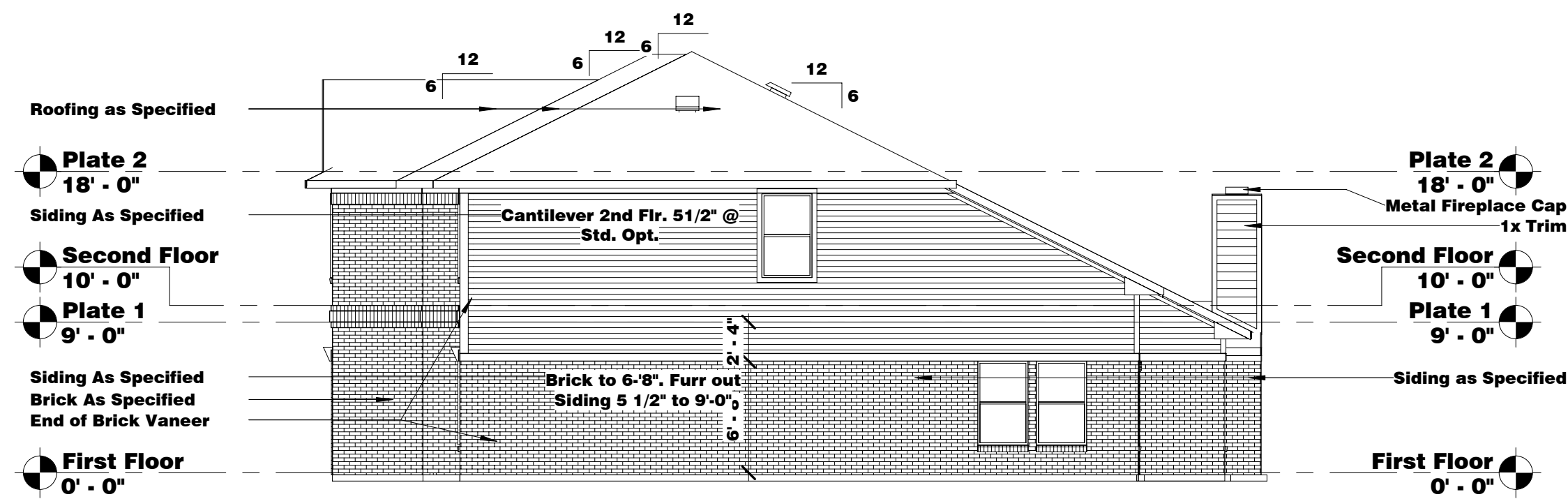
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**Opt. Covered
 Patio**

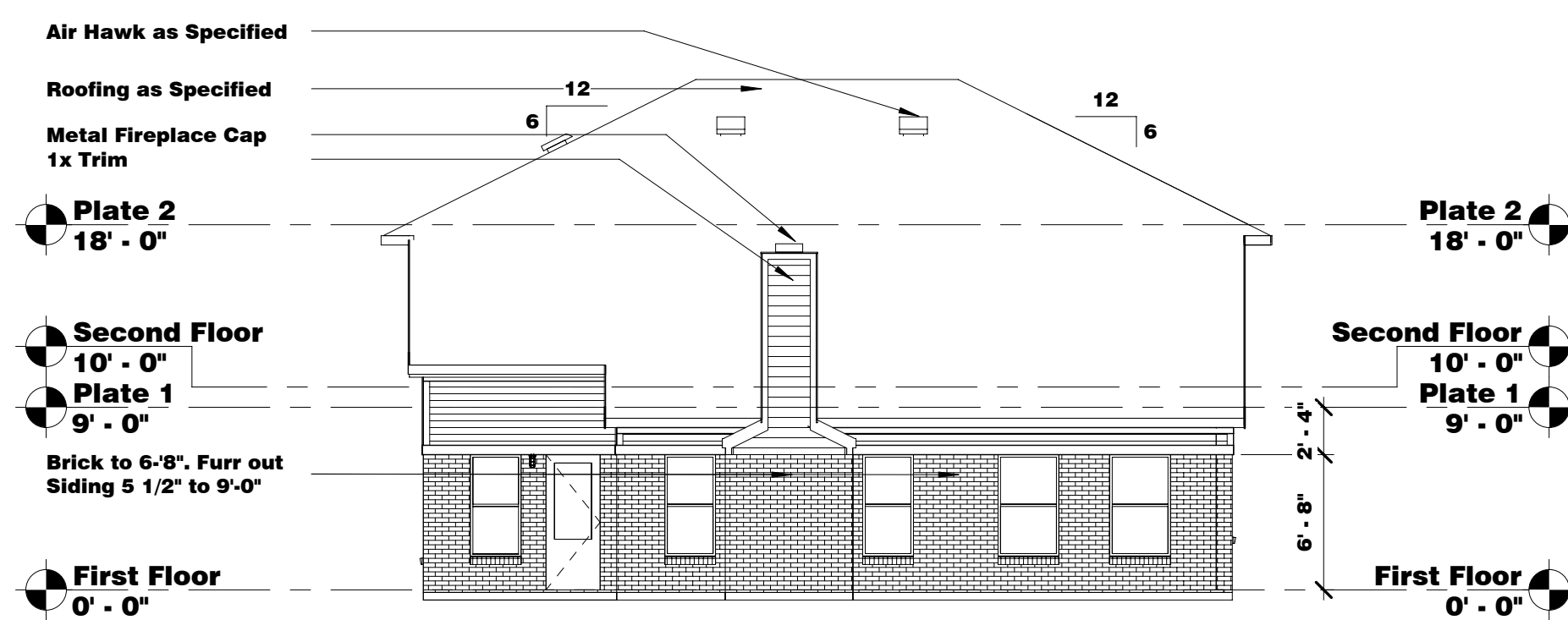
SHEET NO.

3.2

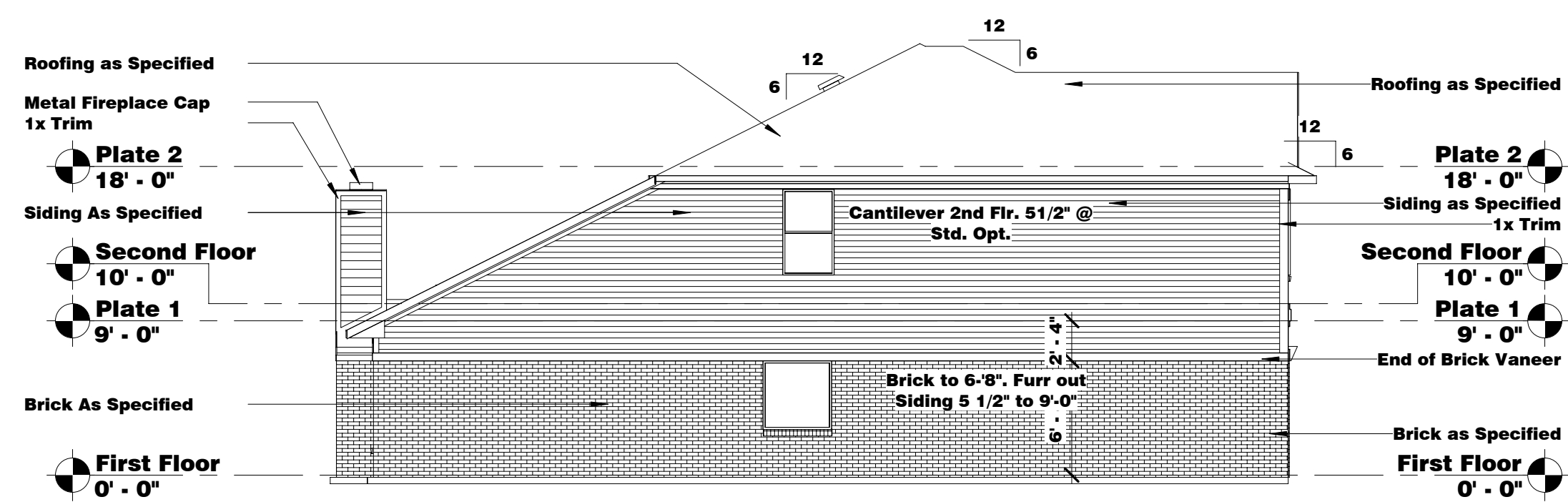
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 DATE
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3 Right Elevation @ Opt. Brick
1/8" = 1'-0"



2 Rear Elevation @ Opt. Brick
1/8" = 1'-0"



1 Left Elevation @ Opt. Brick
1/8" = 1'-0"

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Elevation "A"
@ Opt Brick

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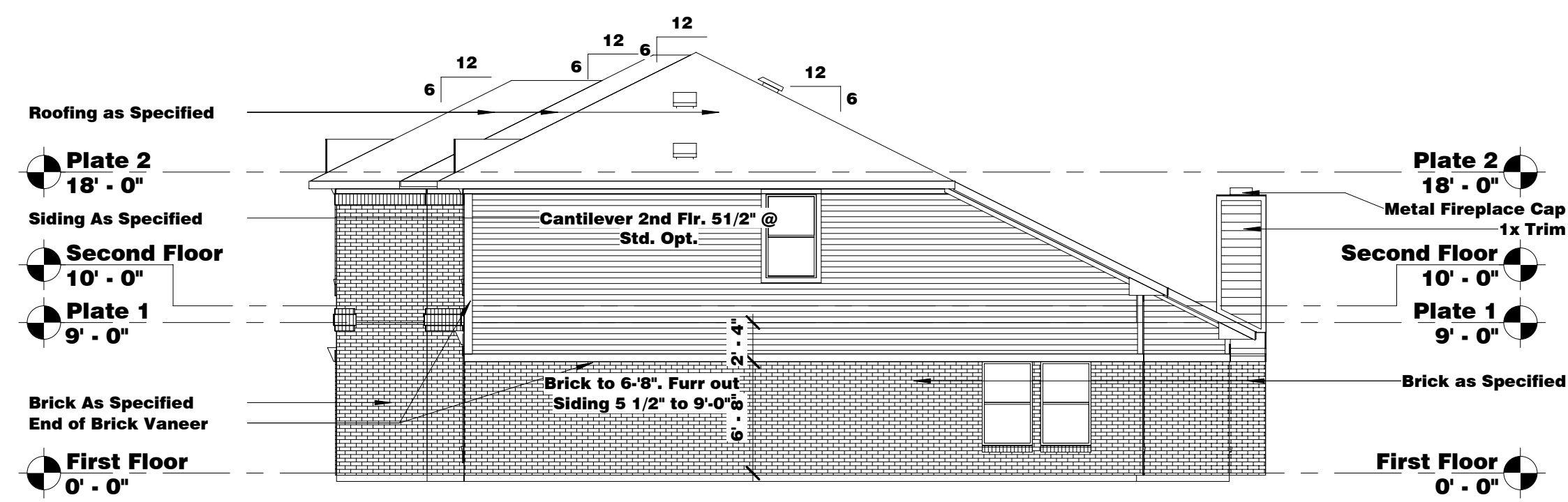
3.2A

Plan Name

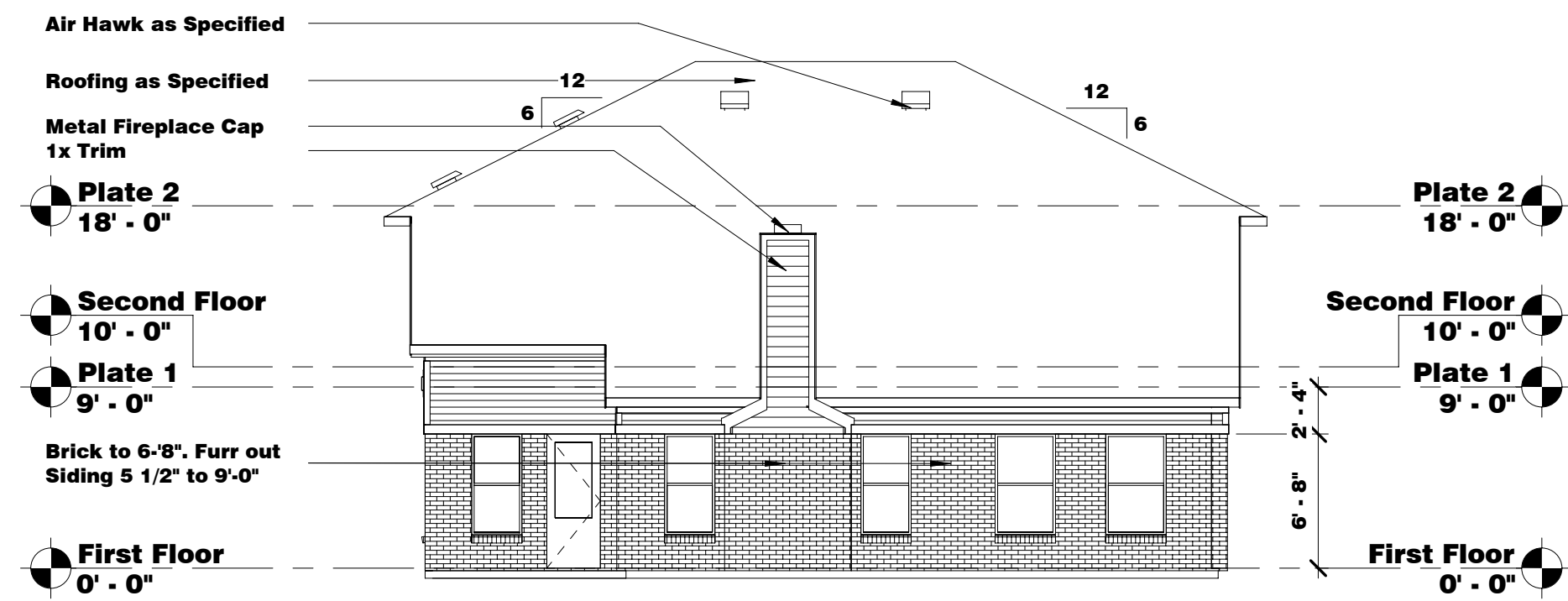
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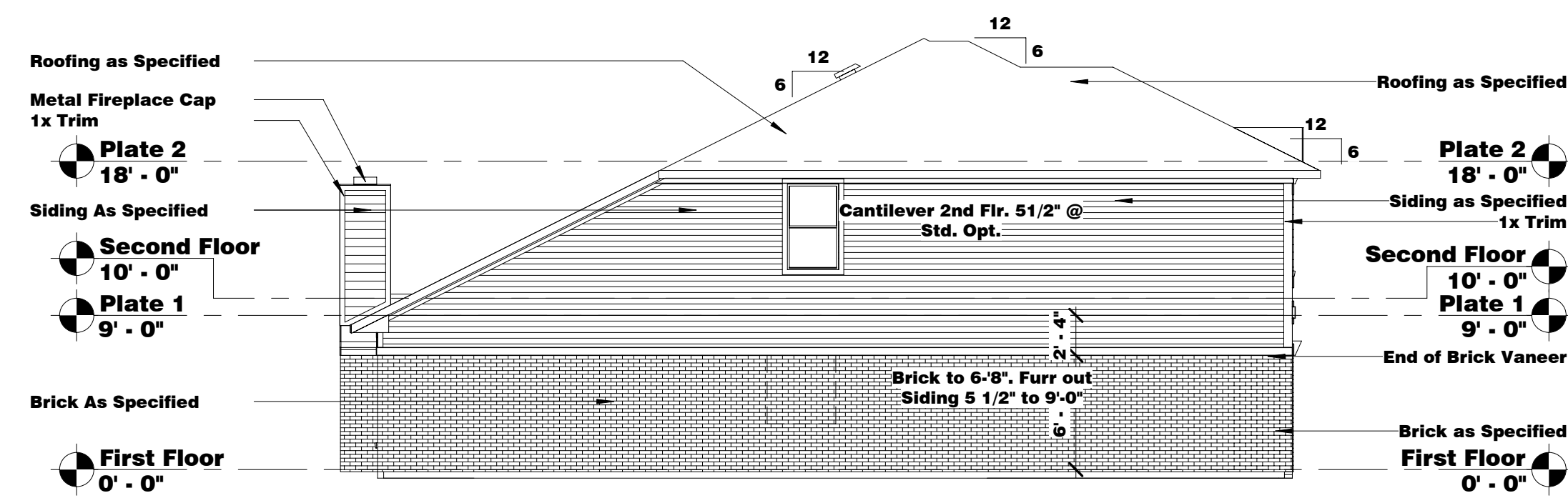
DATE
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3 Right Elevation @ Opt. Brick
1/8" = 1'-0"



2 Rear Elevation @ Opt. Brick
1/8" = 1'-0"



1 Left Elevation @ Opt. Brick
1/8" = 1'-0"

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(unless otherwise specified)
(revised 8-10-04)

1. MIN. 6" TO GRADE AT BRICK. SLOPE GRADE AWAY FOR PROPER DRAINAGE. (SEE SITE PLAN FOR GRADE ELEVATIONS.)
2. MASON TO PROVIDE 3/8" RAKE JOINT.
3. BRICK PROJECTIONS ARE IN 7/8" INCREMENTS.
4. PLACE BRICK VANEER DIRECTLY ON PORCH SURFACE - DELETE BRICK LEDGE AS REQUIRED.
5. MASON TO PROVIDE WEEP HOLES & STEEL LINTELS.

General Notes : Steel Lintel(s)
(unless otherwise specified)
(revised 8-10-04)

1. LINTEL STEEL SHALL BE PER ASTM A36.
2. LINTELS SHALL BEAR 6" MIN. IN MASONRY AT EACH END.
3. LINTELS SHALL BE COATED IN ACCORDANCE WITH LOCAL BLDG. CODE(S) REQUIREMENTS FOR CORROSION RESISTANCE.
4. LINTELS SHALL BE SIZED BY A LICENSED ENGINEER.
5. LINTELS SHALL BE BOLTED TO THE HEADER AS SPECIFIED BY ENGINEER.

General Notes : Masonry
(unless otherwise specified)
(revised 8-10-04)

1. MASONRY TIES - (SIZE AND SPACING) MASONRY VENEER SHALL BE ANCHOR TO THE SUPPORTING WALL WITH CORROSION RESISTANT METAL TIES. IRC R703.7.3. VENEER TIES IF STRAND WIRE, SHALL BE NOT LESS THAN NO.9 U.S. GAUGE WIRE OR IF SHEET METAL SHALL NOT BE LESS THAN NO.22 GAUGE BY 7/8 INCH (22.3 MM) CORRUGATED. EACH TIE SHALL BE SPACED NOT MORE THAN 24 INCHES (610 MM) ON CENTER HORIZONTALLY AND SHALL SUPPORT NOT MORE THAN 3-1/4 SQUARE FEET (0.302 M2) OF WALL AREA. WEEP HOLES SHALL BE PROVIDED IN THE OUTSIDE WIDTH OF MASONRY WALLS AT A MAXIMUM SPACING OF 33 INCHES (838 MM) ON CENTER. SHALL NOT BE LESS THAN 3/8 INCH (1.8 MM) IN DIAMETER AND SHALL BE LOCATED IMMEDIATELY ABOVE THE FLASHING. IRC SECTION R703.7.4.1
2. MASONRY WALL WITH STUDS - TO BE DETERMINED BY THE SPACING OF MASONRY WALL TIES. EACH TIE SHALL BE SPACED NOT MORE THAN 24 INCHES (610 MM) ON CENTER HORIZONTALLY AND SHALL SUPPORT NOT MORE THAN 3-1/4 SQUARE FEET (0.302 M2) OF WALL AREA. IRC SEC R703.7.4.1

REVISIONS

NO.	DESCRIPTION

2517

AN RBA, INC. COMPANY
LIFESTYLE USA DESIGN
INNOVATIVE LEADERS IN QUALITY & AFFORDABLE
RESIDENTIAL DESIGN
1864 W. Gray, Suite 200 Houston, Texas 77019
Office (713) 524-2921 Fax (713) 524-8335
E-mail: [lifestyledesign@lifestyledesign.net](mailto:lifestyleusa@lifestyledesign.net)

Elevation "B" @
Opt. Brick

SHEET NO.

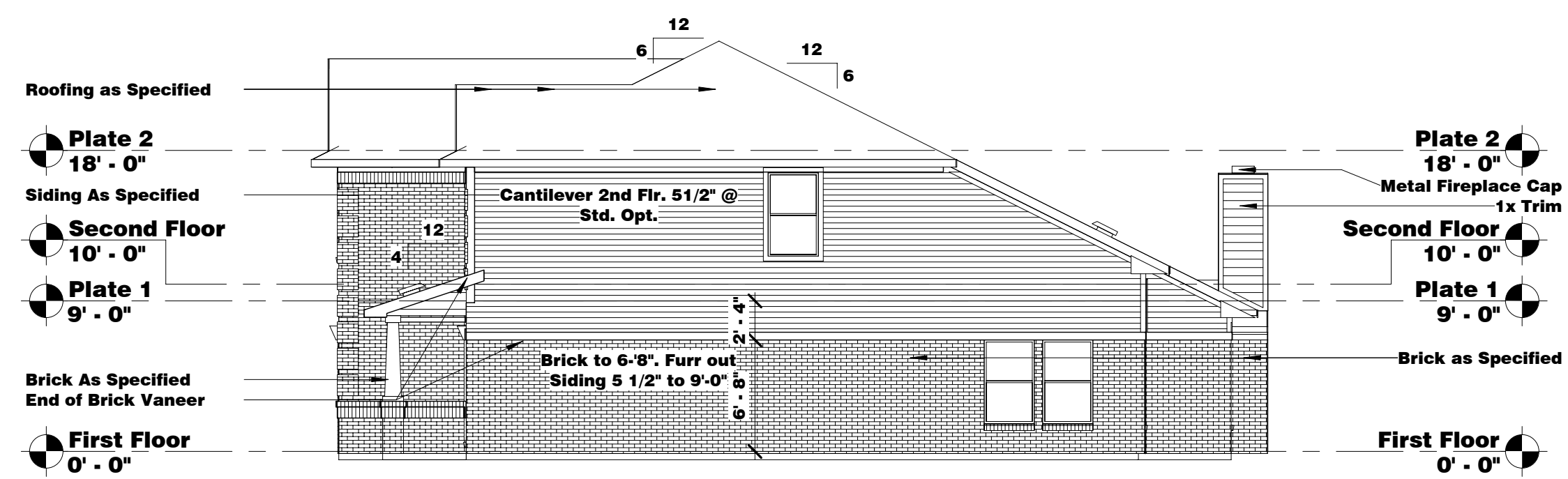
3.2B

Plan Name

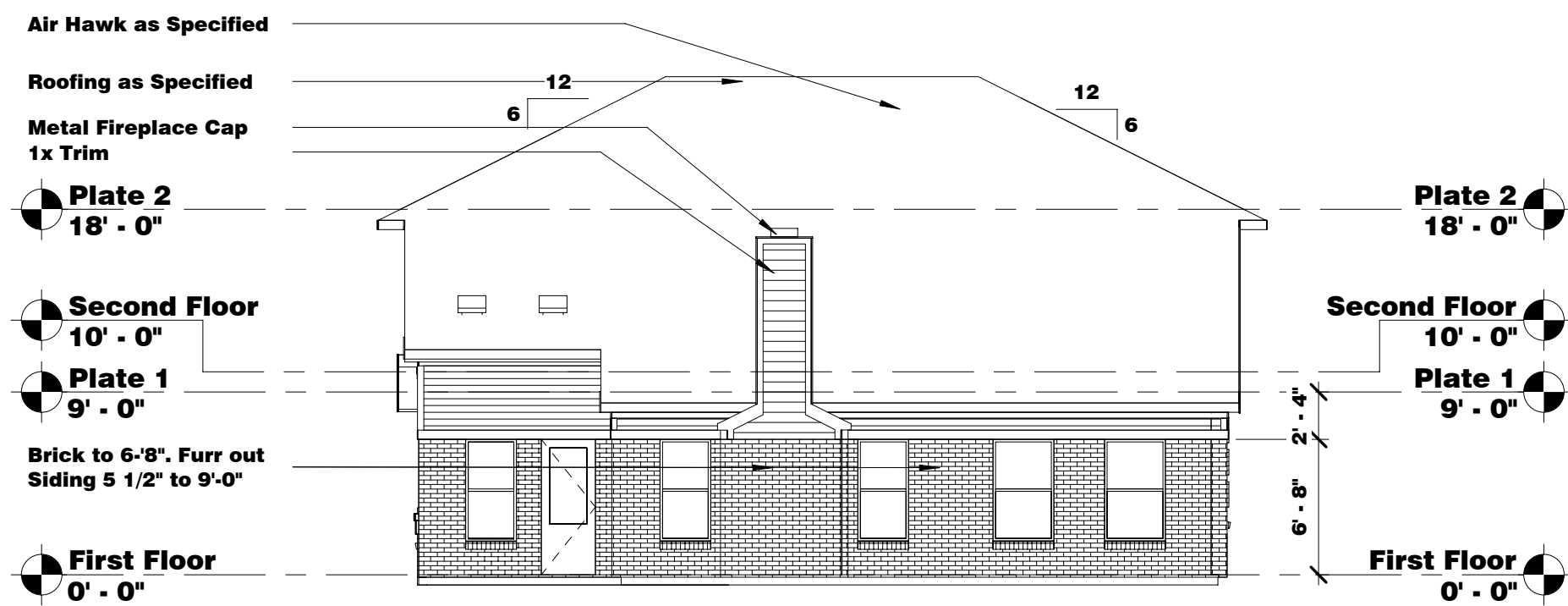
Collection

JOB NO.
406012

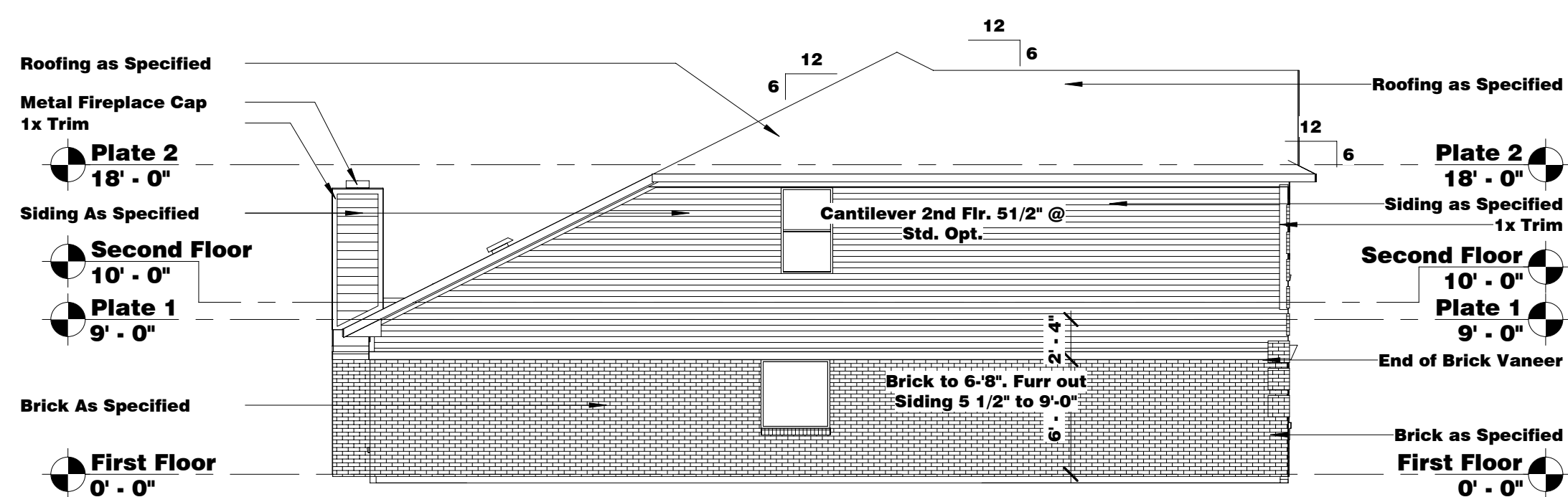
DATE
08/10/2004



3 Right Elevation @ Opt. Brick
1/8" = 1'-0"



2 Rear Elevation @ Opt. Brick
1/8" = 1'-0"



1 Left Elevation @ Opt. Brick
1/8" = 1'-0"

General Notes : Elevations
(unless otherwise specified)
(revised 8-10-04)

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REVISIONS

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E-mail: lifestyleusa@net

Elevation "C"
@ Opt. Brick

SHEET NO.

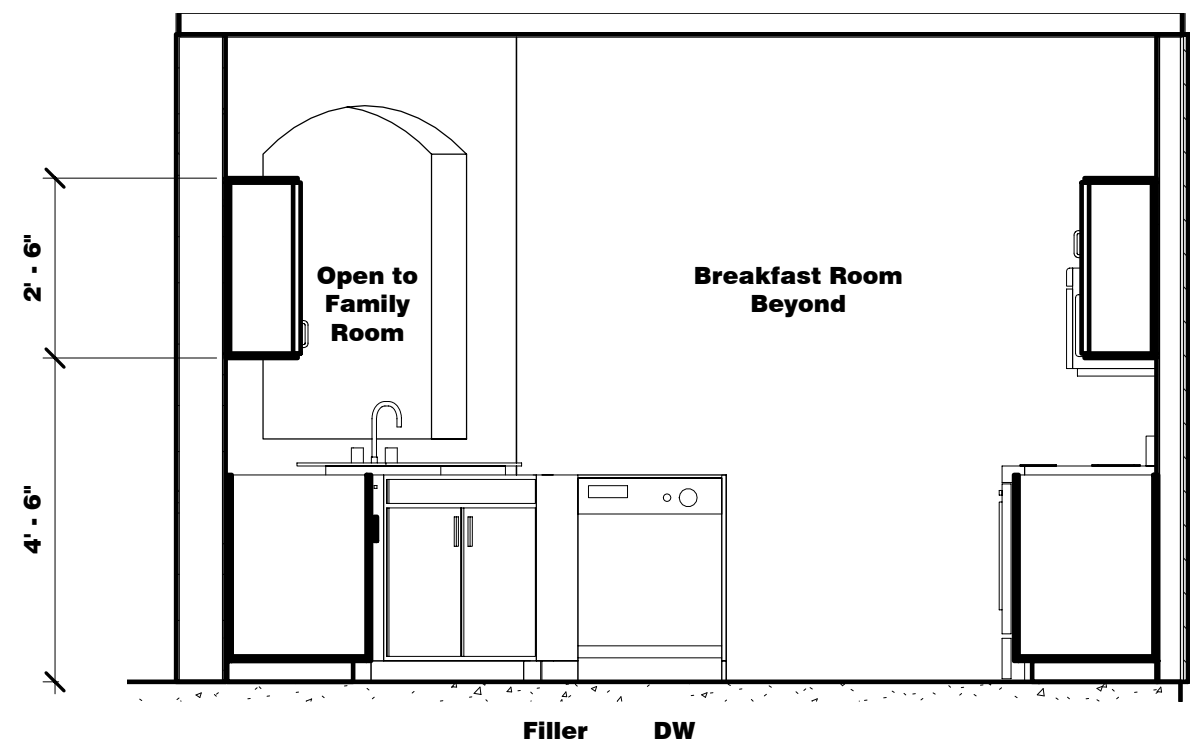
3.2C

Plan Name

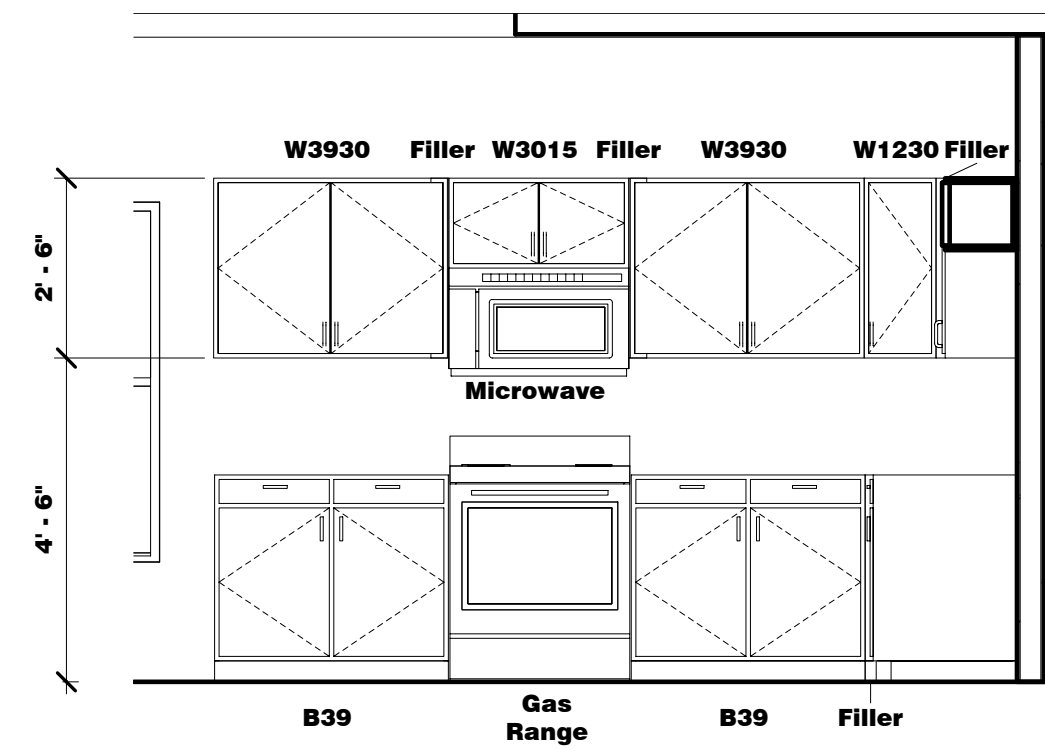
Collection

JOB NO.
406012

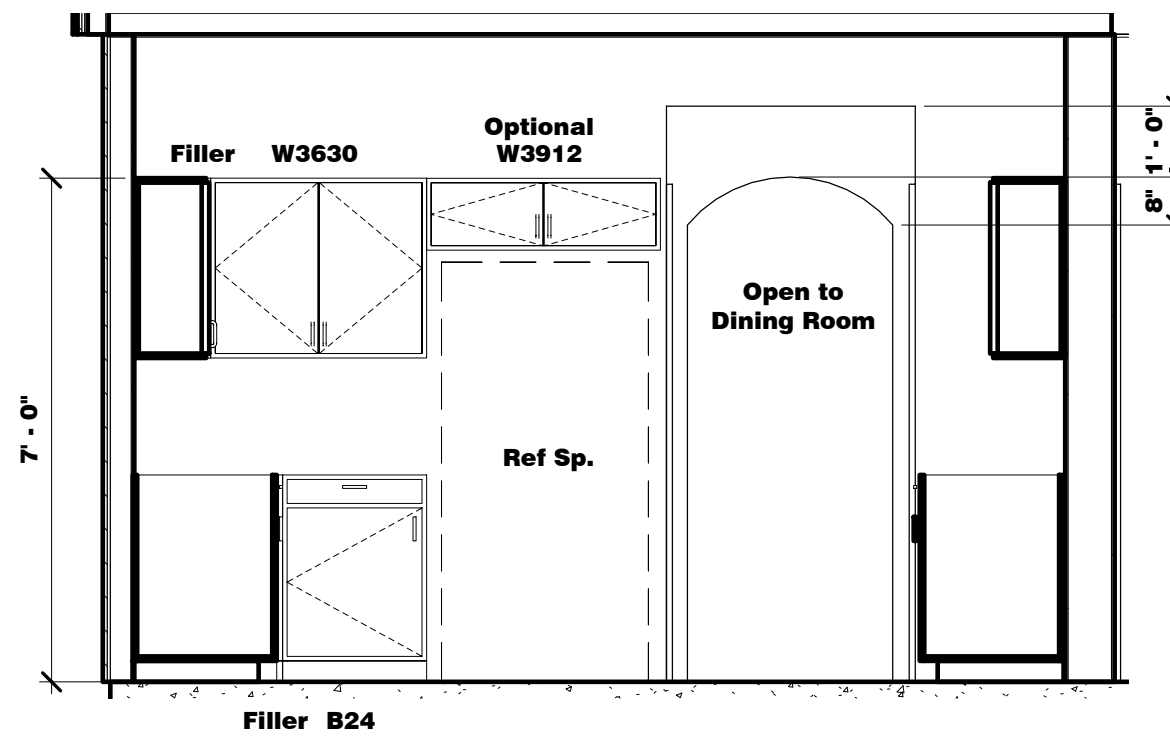
DATE
08/10/2004



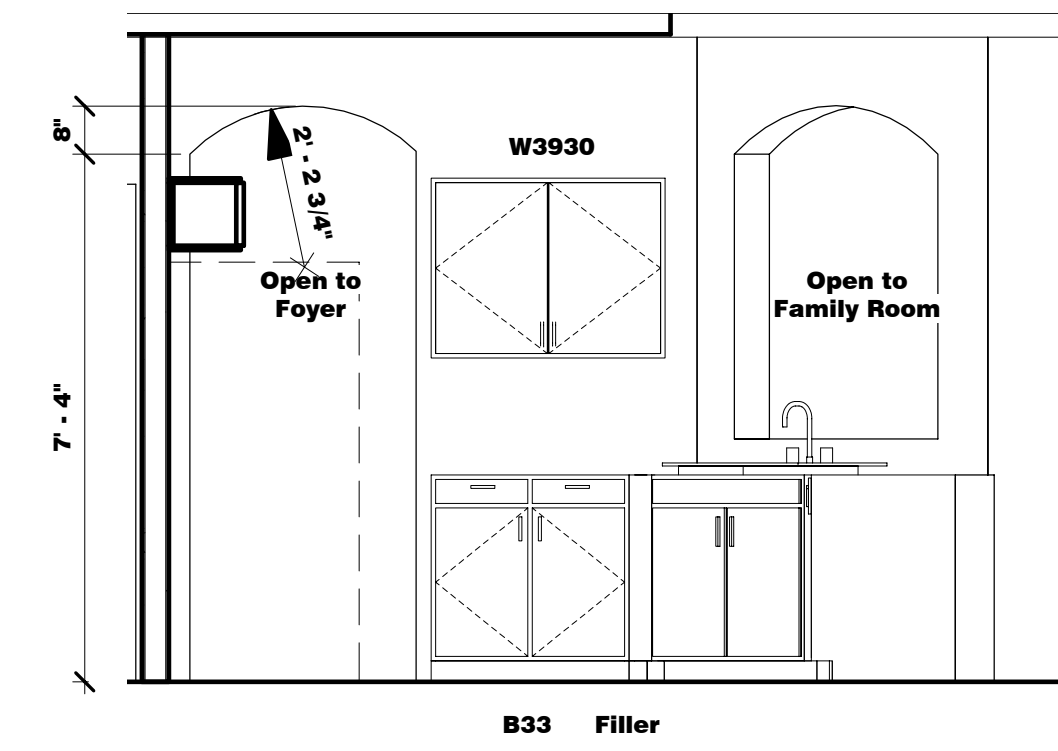
1 Kitchen
3/8" = 1'-0"



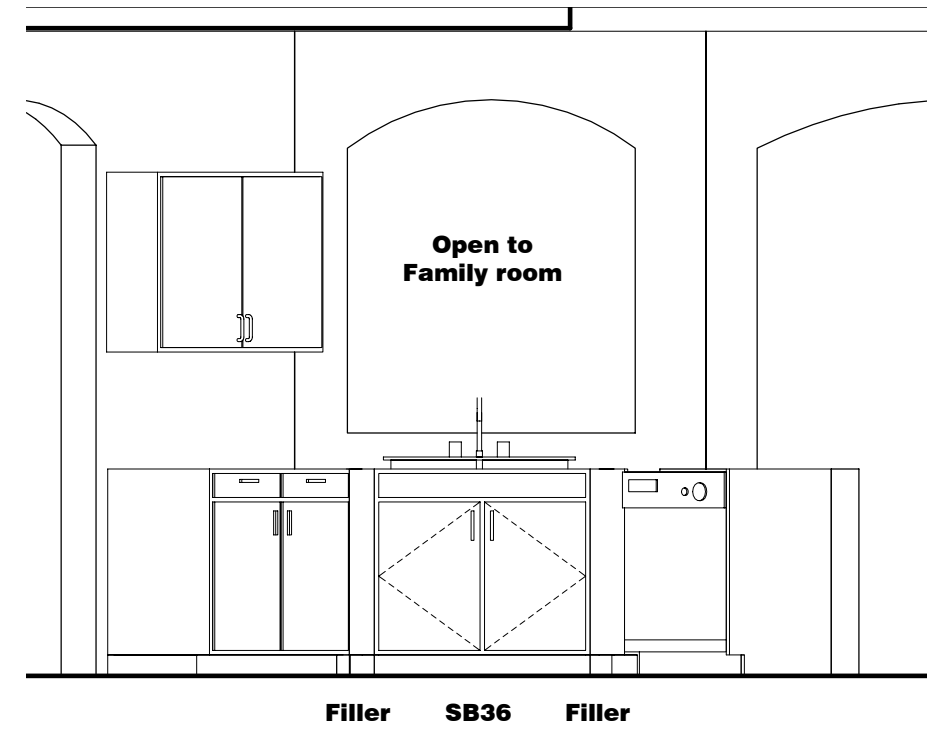
2 Kitchen
3/8" = 1'-0"



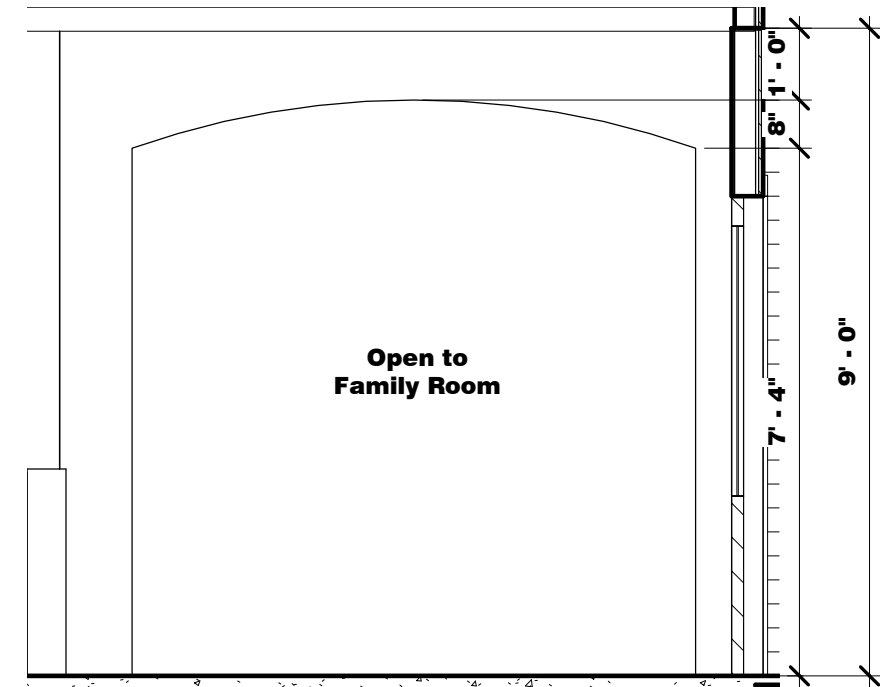
3 Kitchen
3/8" = 1'-0"



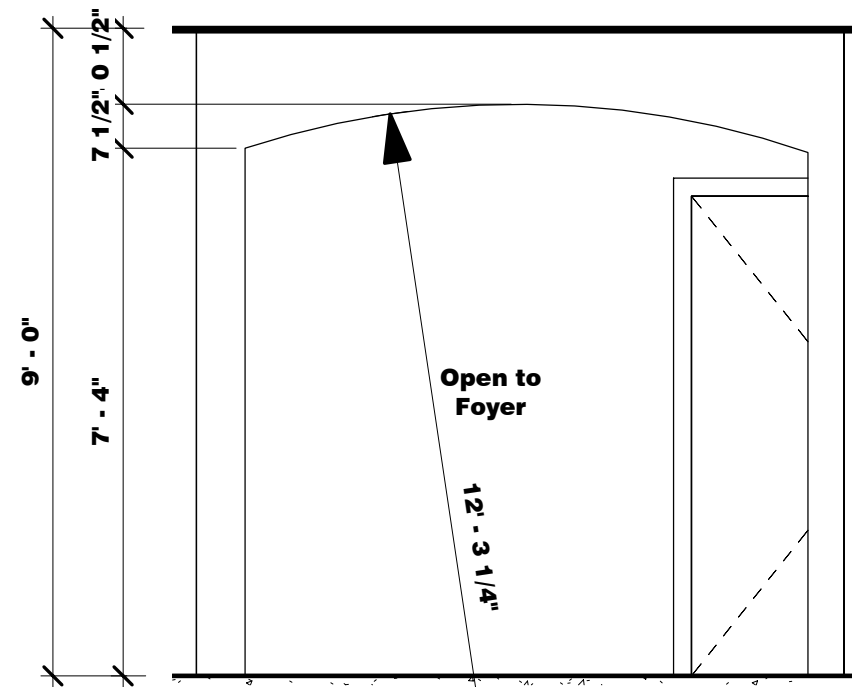
4 Kitchen
3/8" = 1'-0"



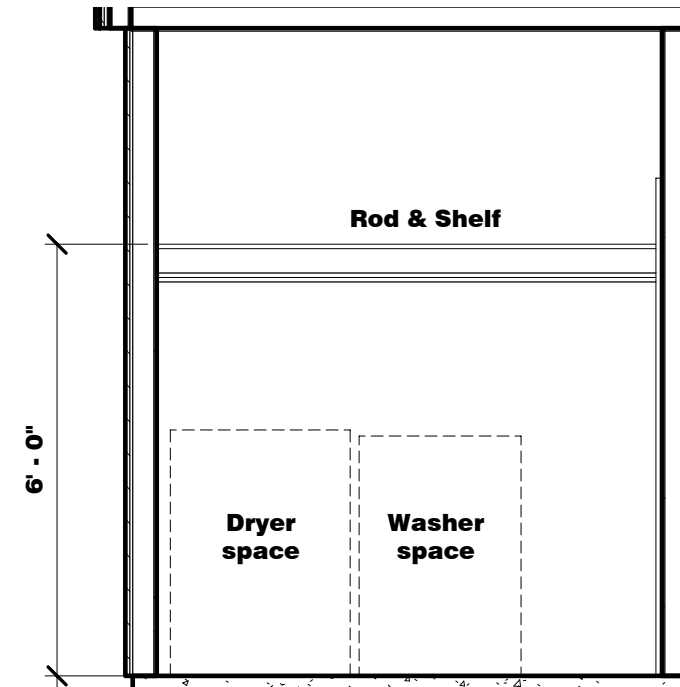
5 Kitchen
3/8" = 1'-0"



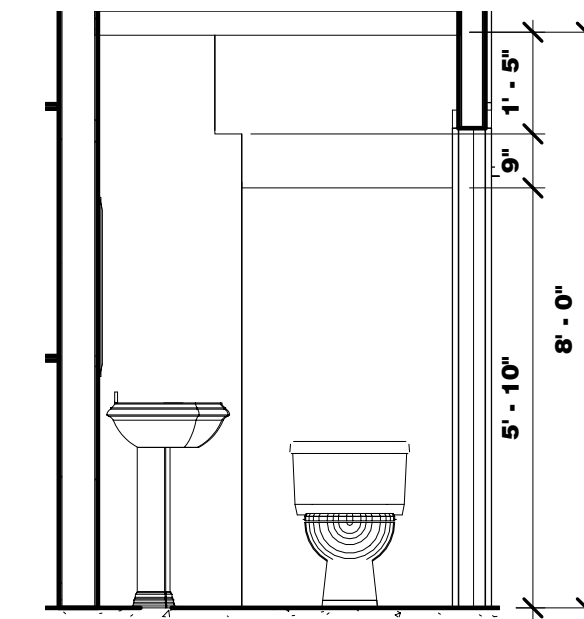
6 Breakfast
3/8" = 1'-0"



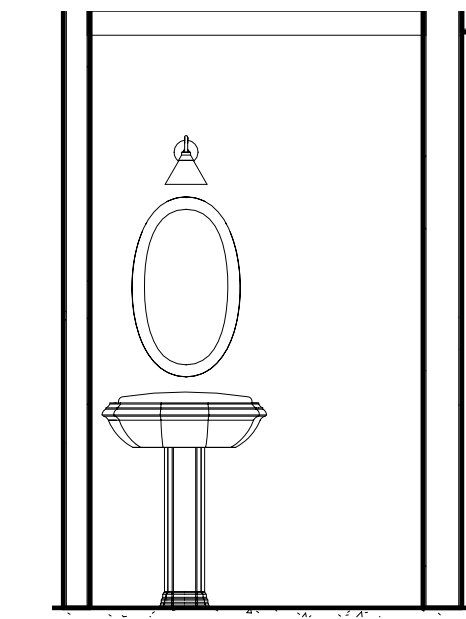
7 Dining
3/8" = 1'-0"



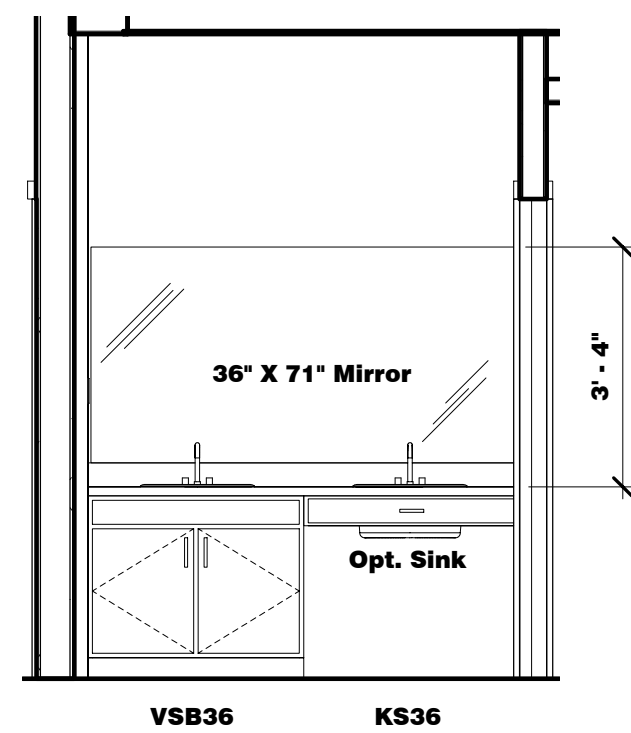
8 Utility
3/8" = 1'-0"



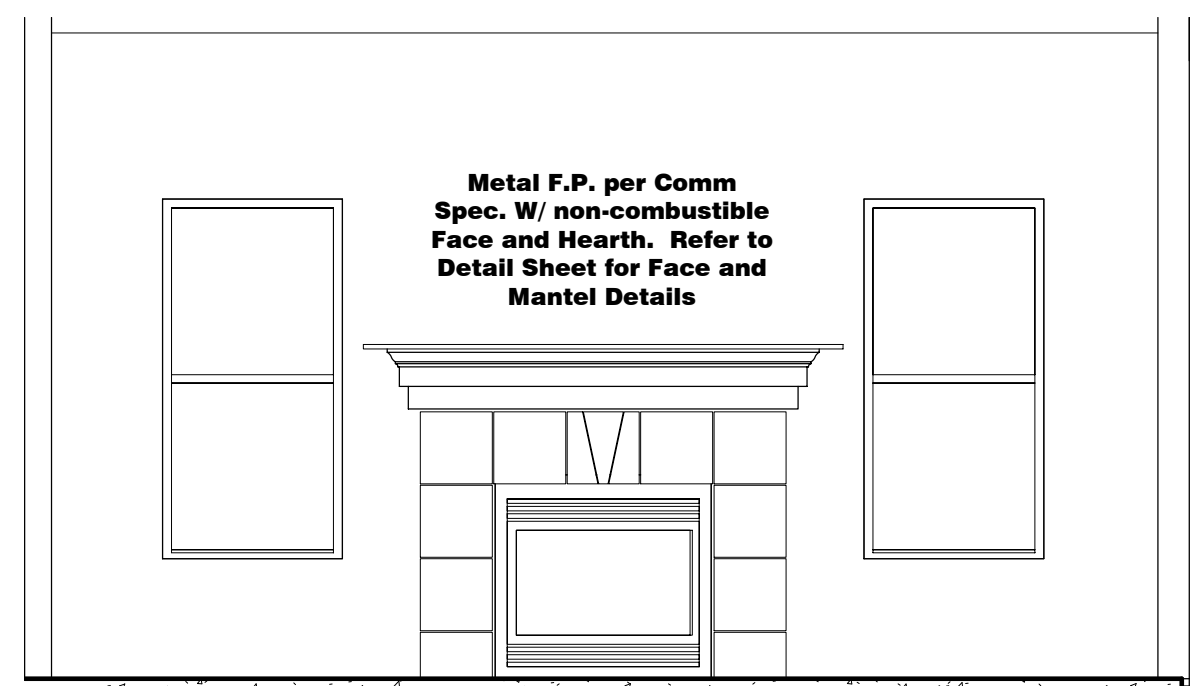
9 Powder
3/8" = 1'-0"



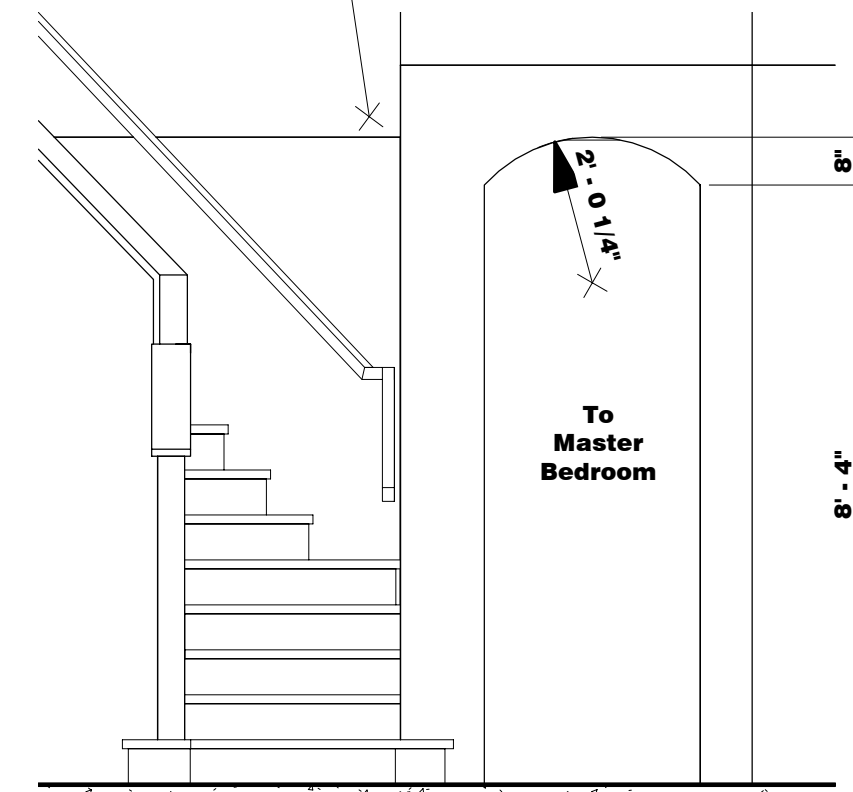
10 Powder
3/8" = 1'-0"



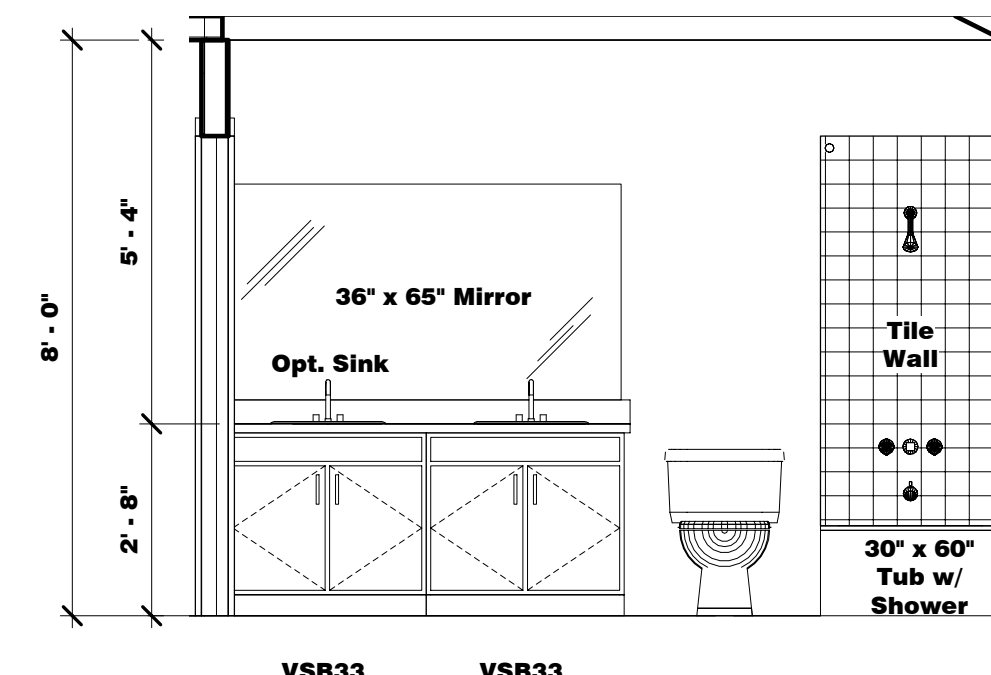
11 Master Bath
3/8" = 1'-0"



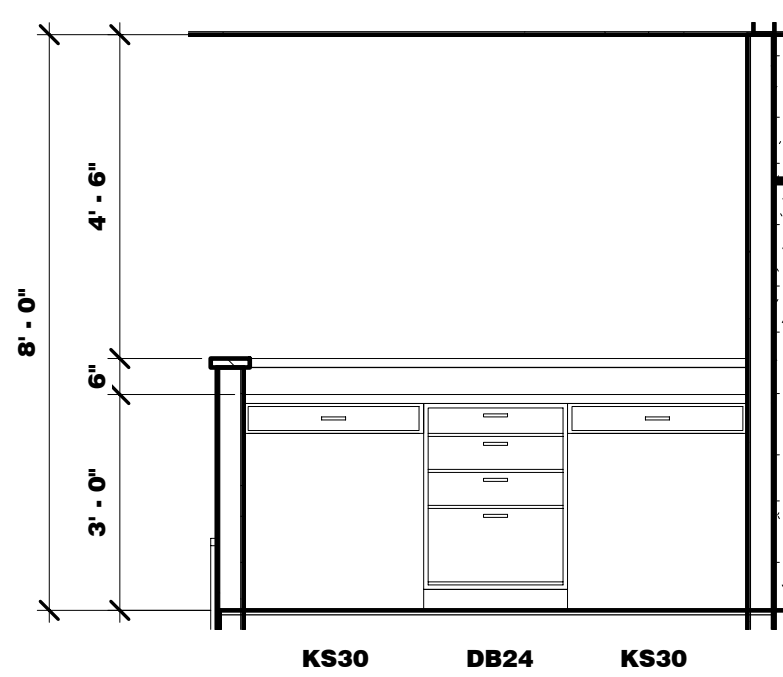
12 Fireplace
3/8" = 1'-0"



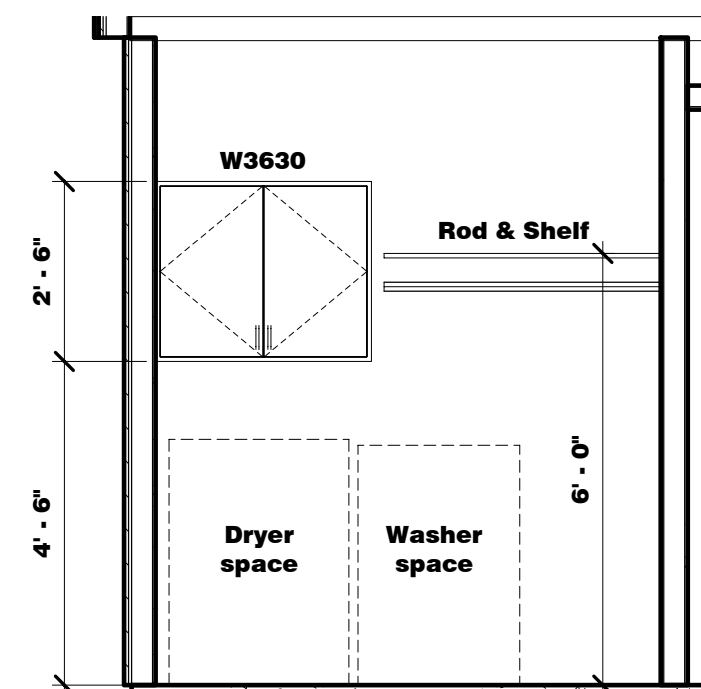
13 Family Room
3/8" = 1'-0"



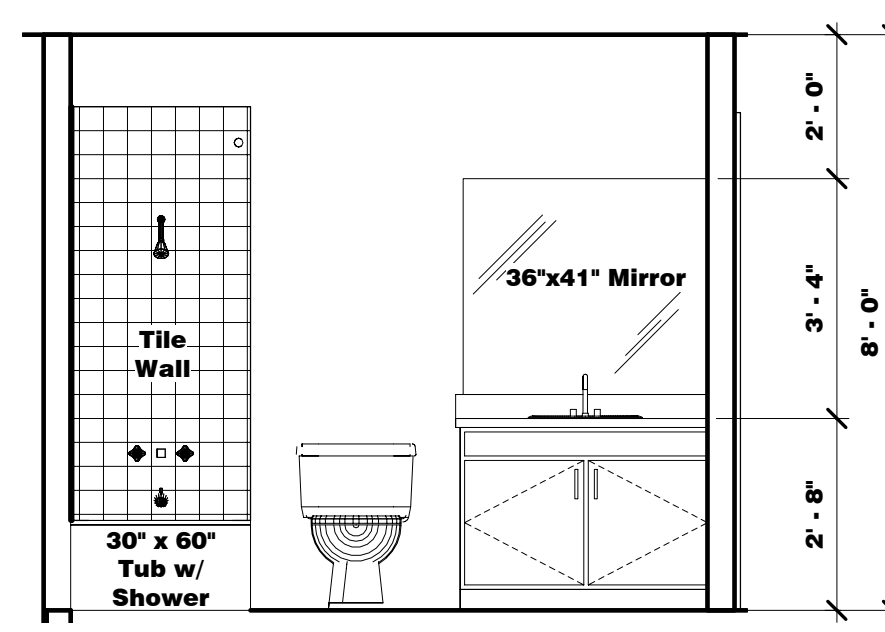
14 Bath 2
3/8" = 1'-0"



16 Opt. Computer Niche
3/8" = 1'-0"



17 Opt. Utility Room
3/8" = 1'-0"



15 Int - Opt. Bath 3
3/8" = 1'-0"

REVISIONS

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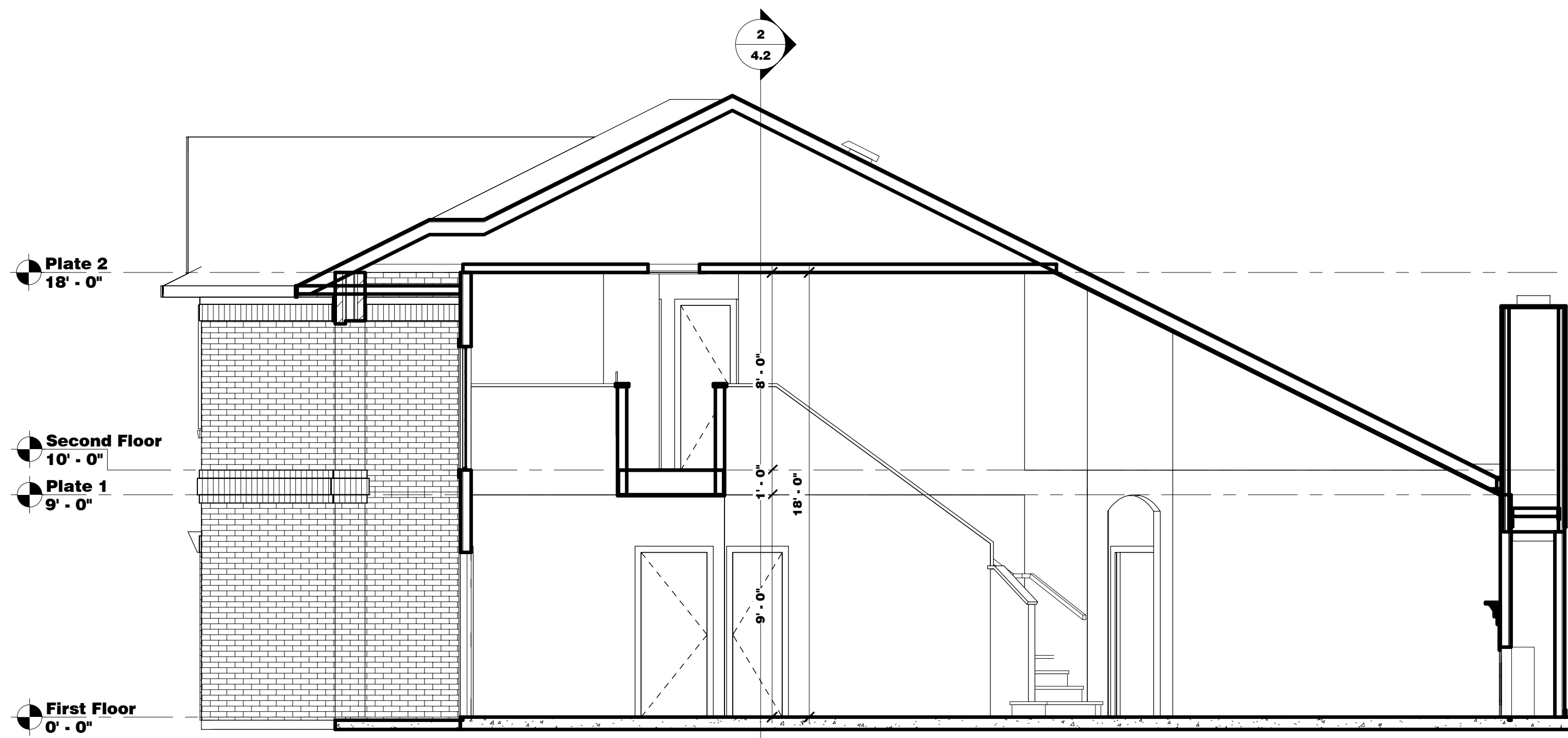
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LIFESTYLE USA DESIGN
INNOVATIVE LEADERS IN QUALITY & AFFORDABLE
RESIDENTIAL DESIGN
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Office (713) 524-2921 Fax (713) 524-8335
E-mail: lifestyleusa@rba.com

Interior
Elevations

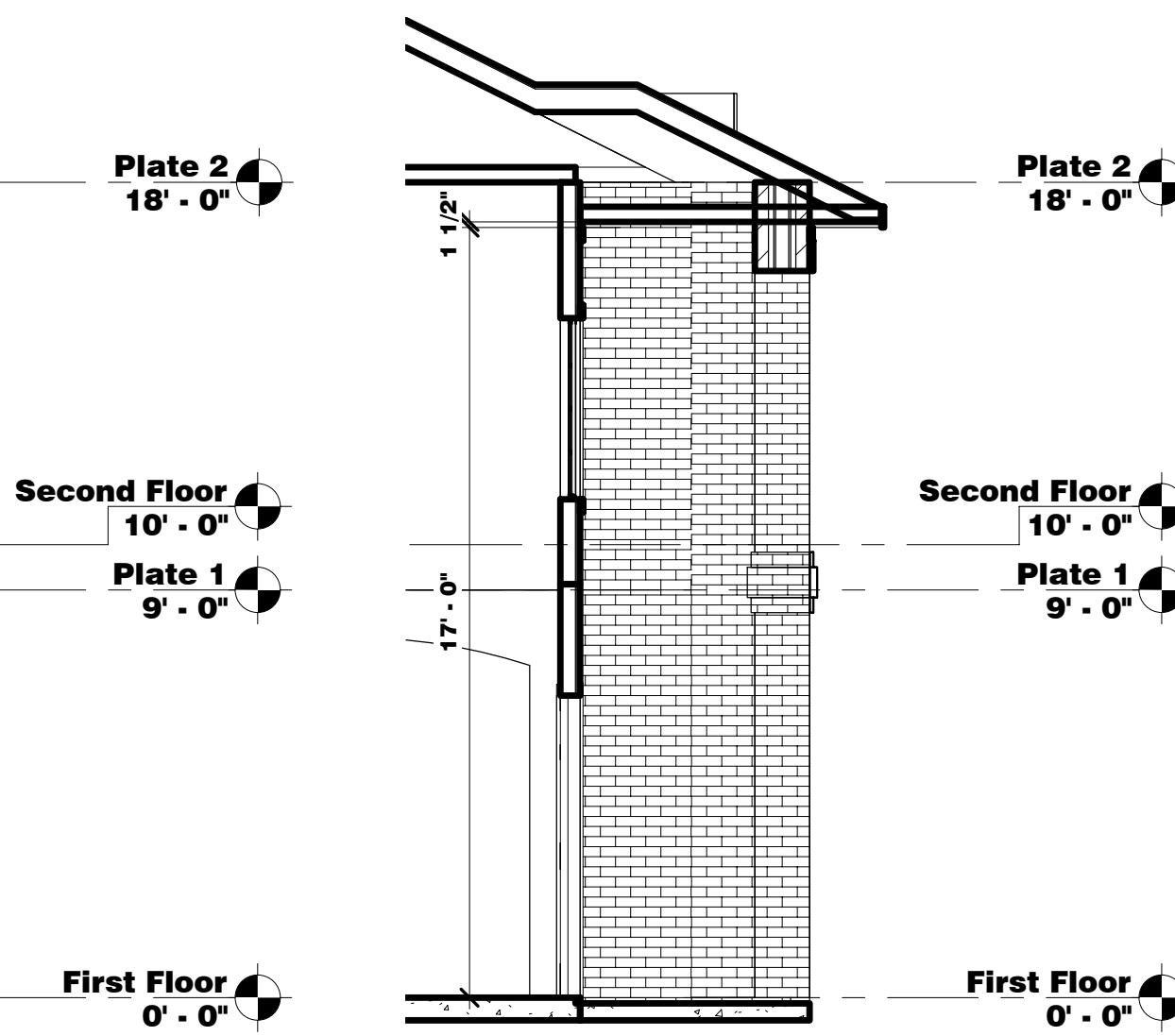
SHEET NO.

4.1

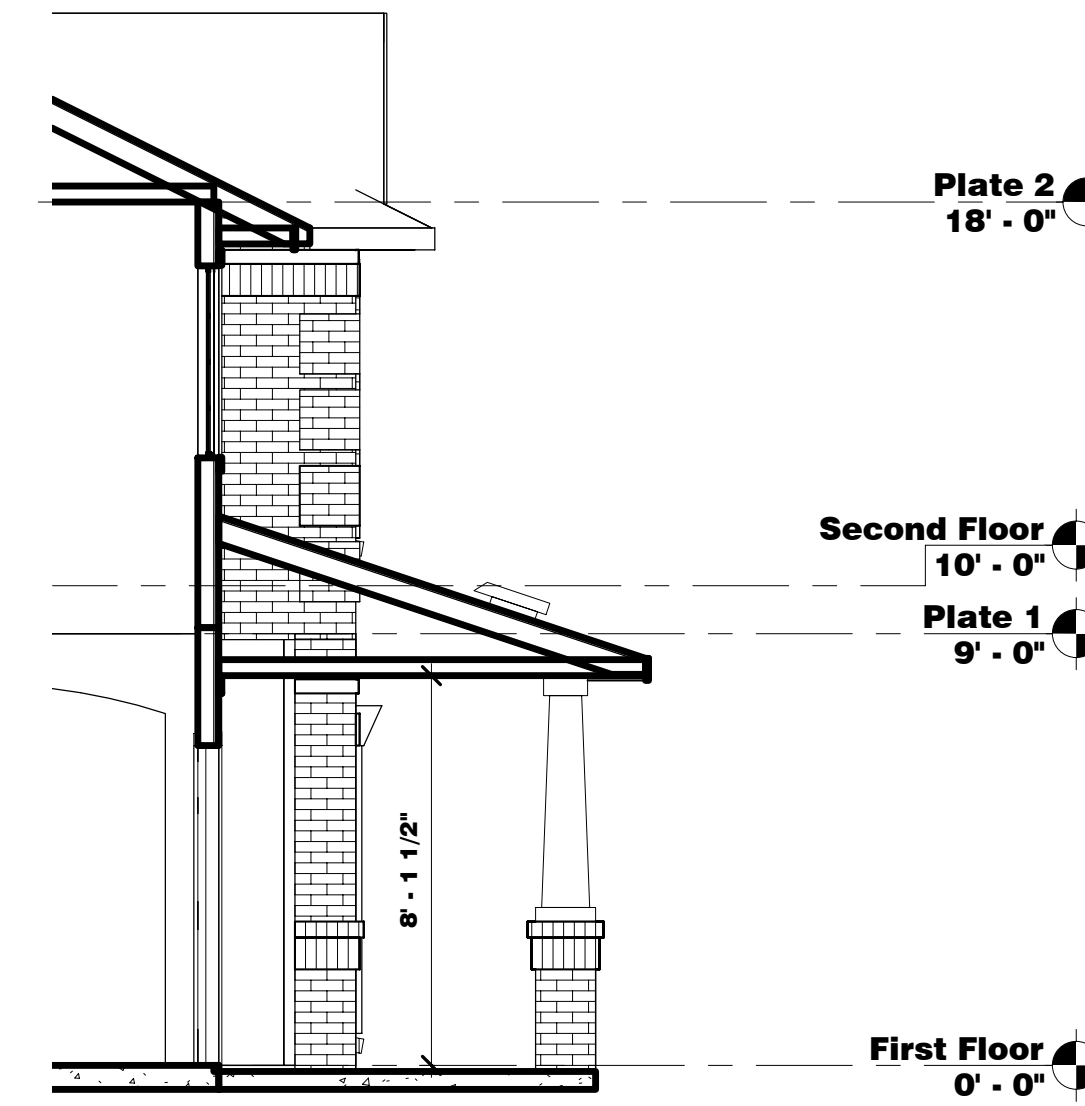
Plan Name
Roosevelt
Collection
Traditions
JOB NO.
406012
DATE
08/10/2004



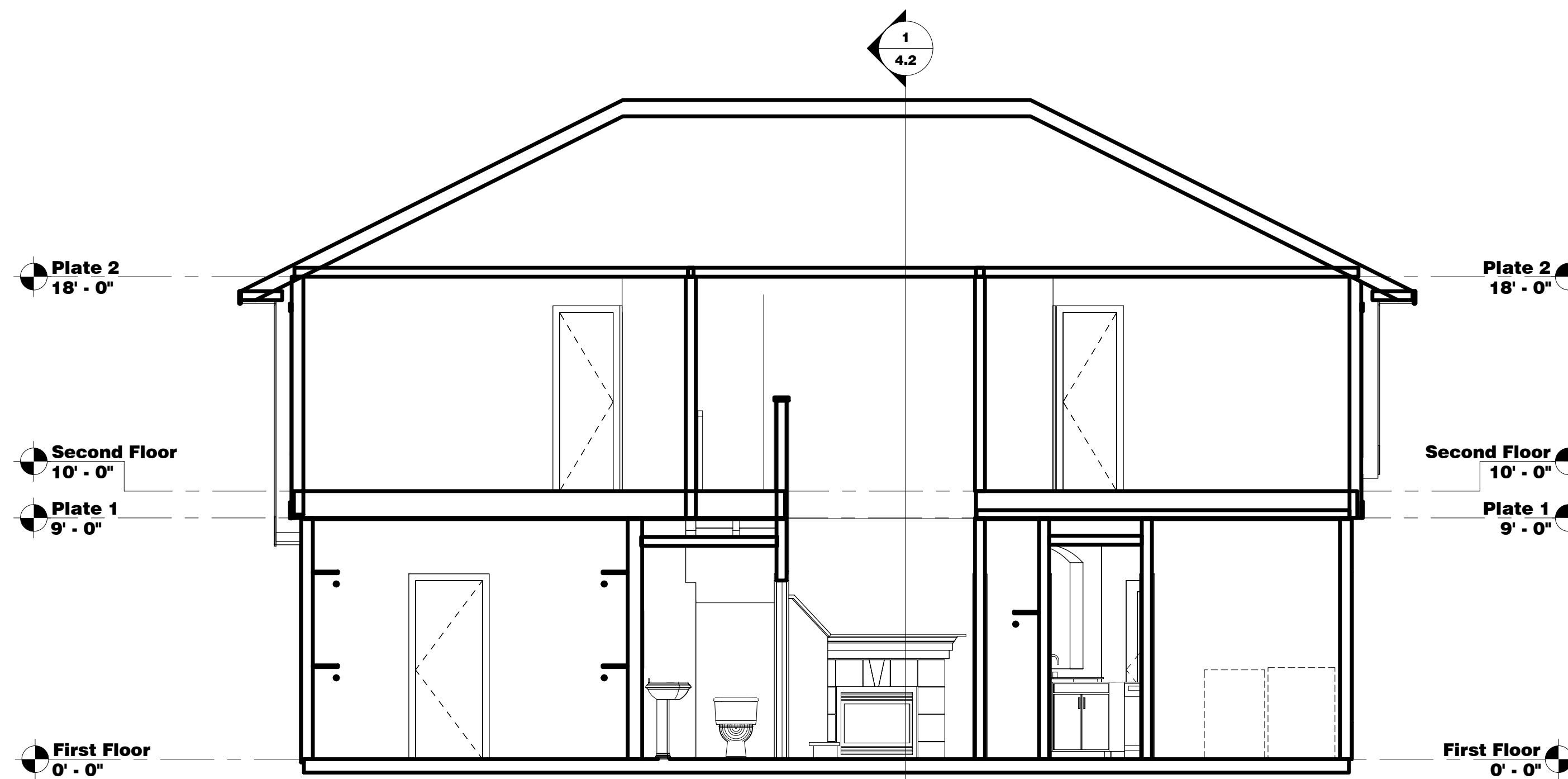
1 Section: Front to Back
1/4" = 1'-0"



3 Partial Section: Front to Back Elev B
1/4" = 1'-0"



4 Partial Section: Front to Back Elev C
1/4" = 1'-0"



2 Section: Side to Side
1/4" = 1'-0"

REVISIONS

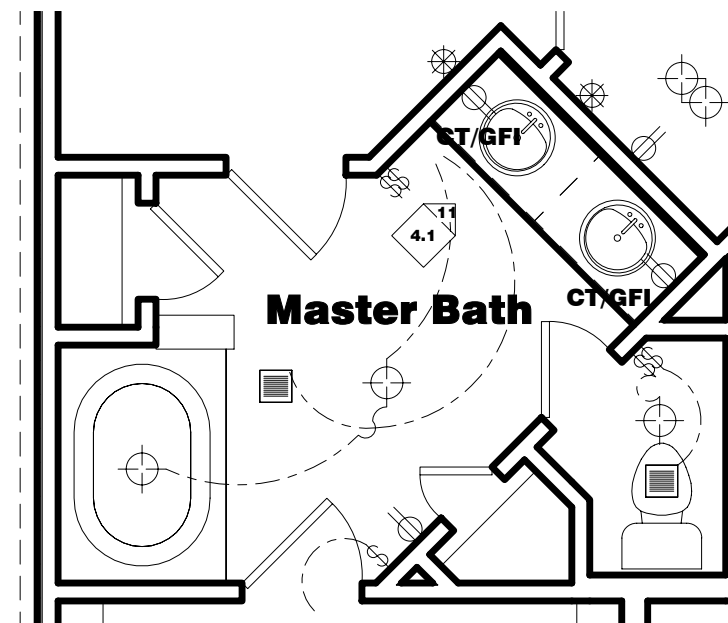
2517

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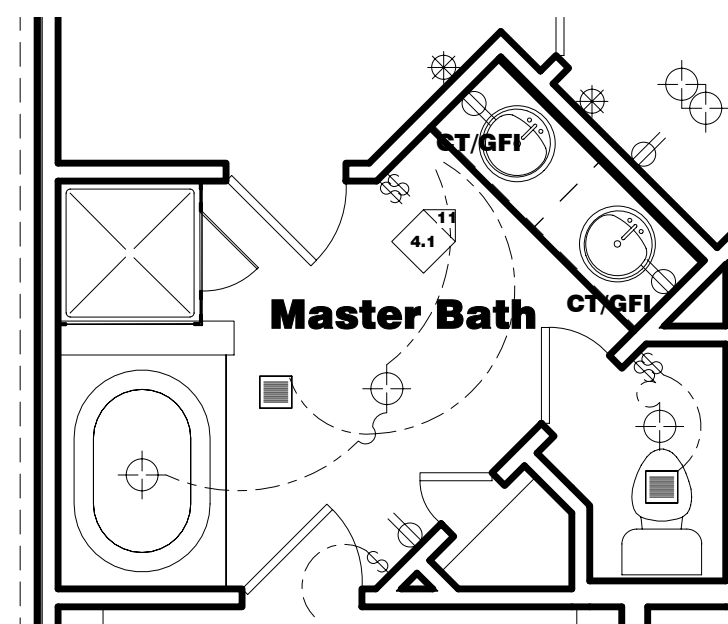
Building Cross
Section(s)

SHEET NO.
4.2

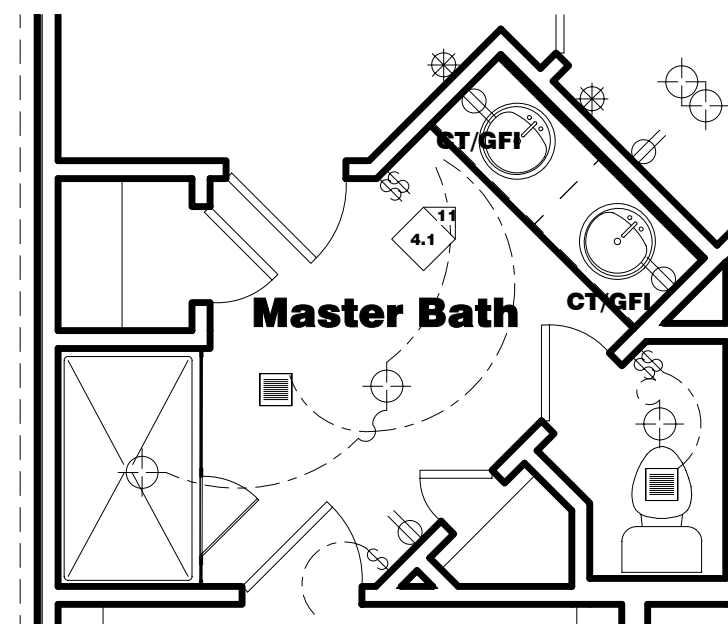
Plan Name
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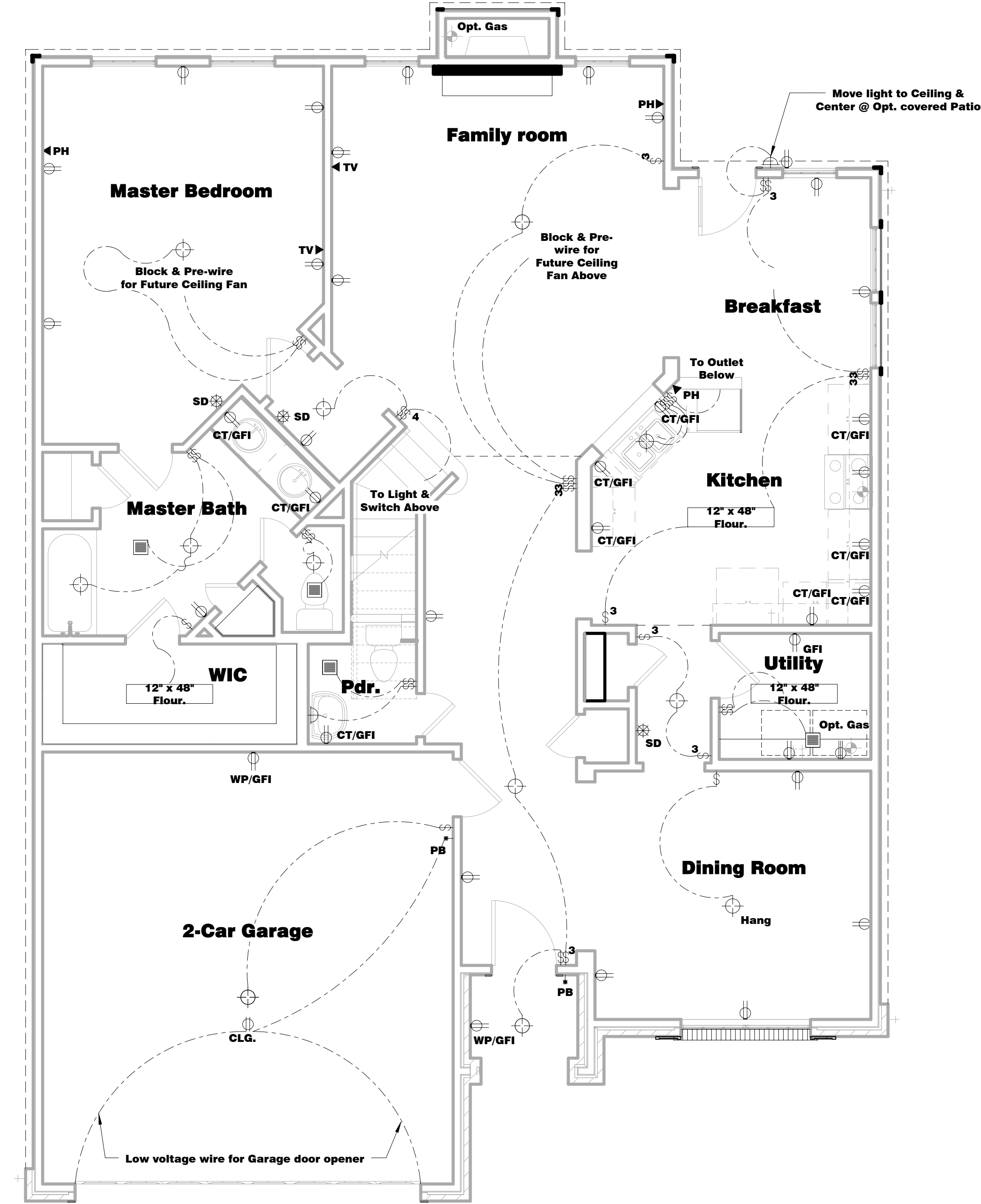
2 Opt. Enhanced M. Bath
1/4" = 1'-0"



3 Opt. Luxury M. Bath
1/4" = 1'-0"



4 Opt M. Bath W/ Walk-in Shower
1/4" = 1'-0"



1 First Floor Electrical
1/4" = 1'-0"

ELECTRICAL LEGEND	
⊞	SWITCH
⊞	THREE-WAY SWITCH
⊞	FOUR-WAY SWITCH
⊞	RHEOSTAT
⊞	DUPLEX
⊞	COUNTERTOP DUPLEX
⊞	SPLIT WIRED DUPLEX
⊞	QUADRUPLEX
⊞	CEILING DUPLEX
⊞	FLOOR DUPLEX
⊞	PHONE OUTLET
⊞	TV OUTLET
⊞	THERMOSTAT
⊞	SMOKE DETECTOR
⊞	JUNCTION
⊞	220 VOLT OUTLET
⊞	CEILING LIGHT
⊞	RECESSED CEILING LIGHT
⊞	WALL HUNG LIGHT
⊞	EYEBALL LIGHT
⊞	RECESSED EYEBALL LIGHT
⊞	VENT
⊞	VENT AND LIGHT
⊞	HEAT AND LIGHT
⊞	HEAT AND VENT
⊞	HEAT, VENT AND LIGHT
⊞	LANDSCAPING LIGHT
⊞	FLOODLIGHT

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 E-mail: [lifestyledesign@lifestyledesign.net](mailto:lifestyleusa@lifestyledesign.net)

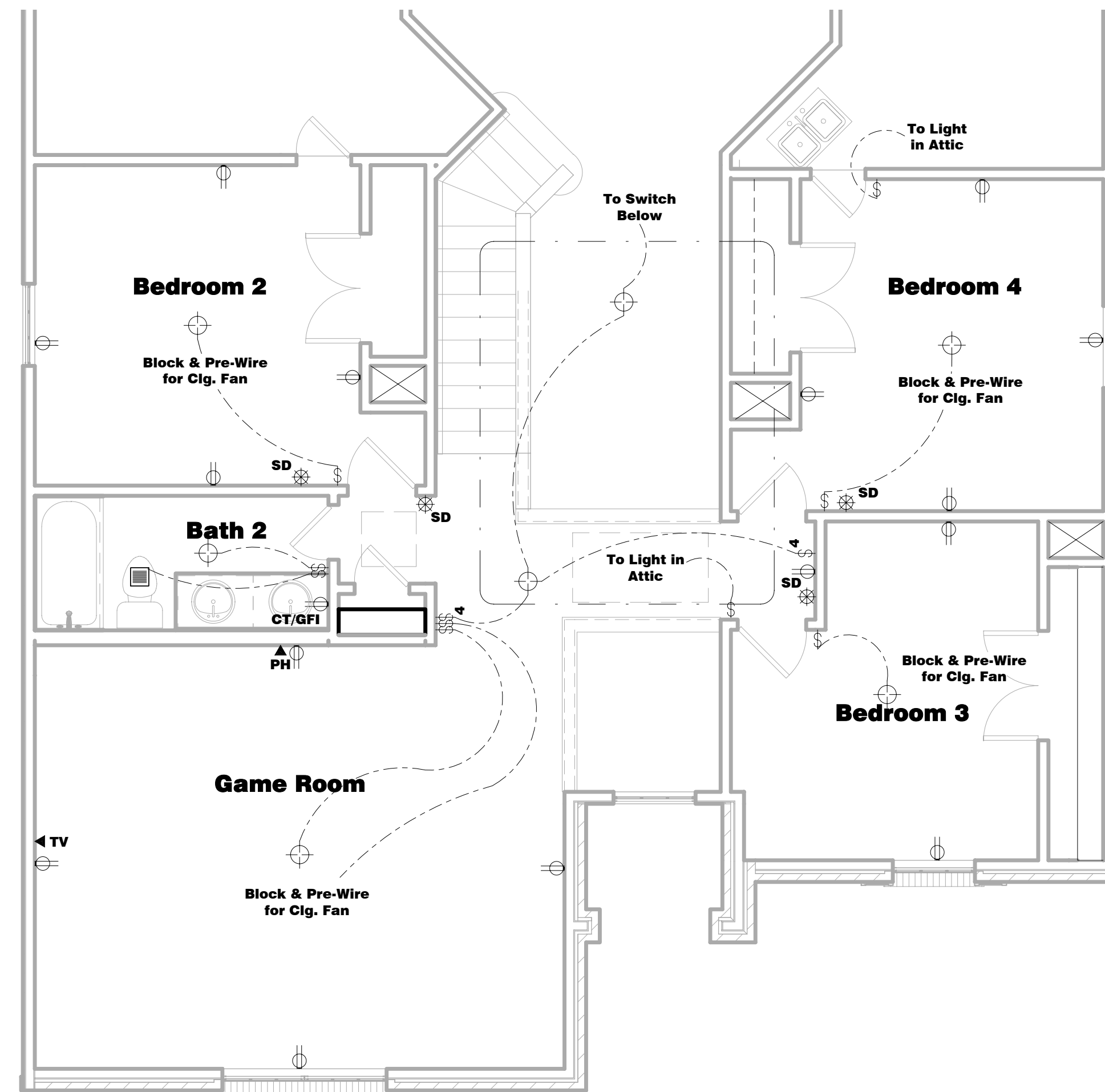
1st Floor Plan
- Electrical

SHEET NO.

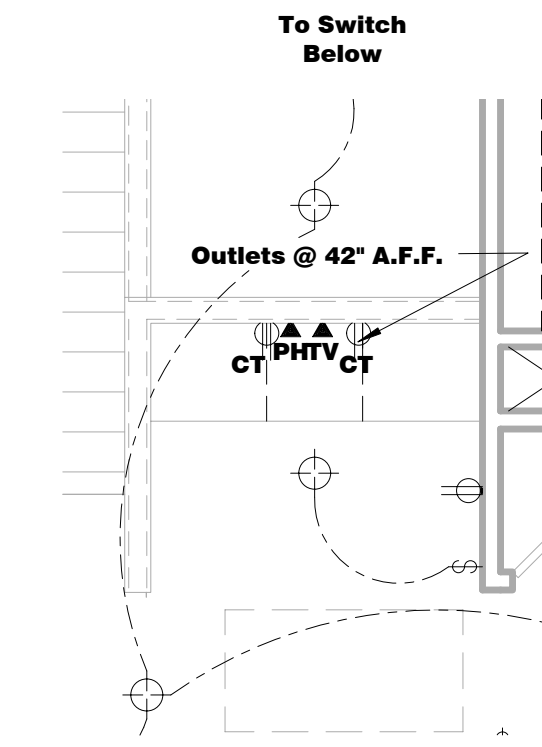
5.1

Plan Name
 Roosevelt
Collection
 Traditions
JOB NO.
 406012
DATE
 08/10/2004

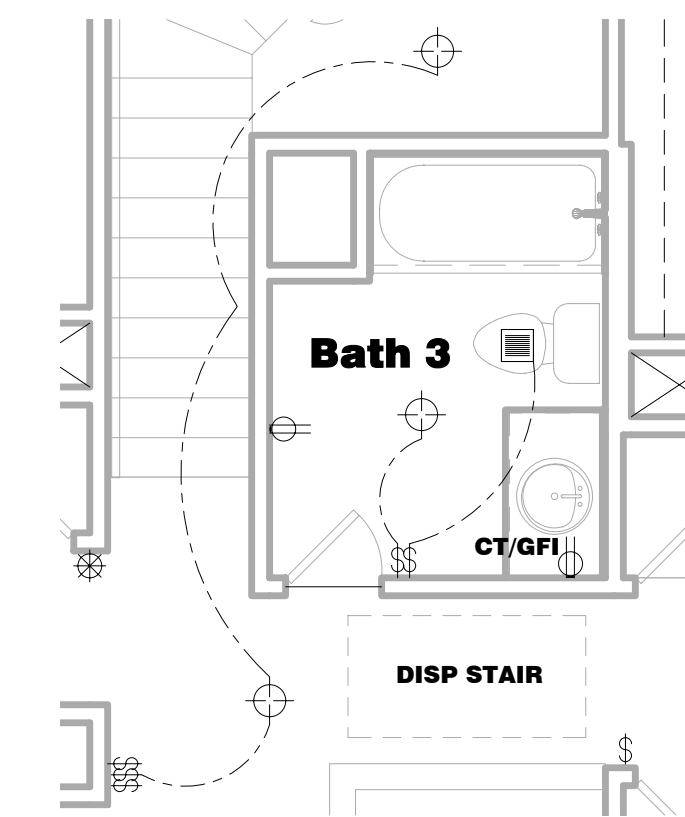
ELECTRICAL LEGEND	
	SWITCH
	THREE-WAY SWITCH
	FOUR-WAY SWITCH
	RHEOSTAT
	DUPLEX
	COUNTERTOP DUPLEX
	SPLIT WIRED DUPLEX
	QUADRUPLEX
	CEILING DUPLEX
	FLOOR DUPLEX
	PHONE OUTLET
	TV OUTLET
	THERMOSTAT
	SMOKE DETECTOR
	JUNCTION
	220 VOLT OUTLET
	CEILING LIGHT
	RECESSED CEILING LIGHT
	WALL HUNG LIGHT
	EYEBALL LIGHT
	RECESSED EYEBALL LIGHT
	VENT
	VENT AND LIGHT
	HEAT AND LIGHT
	HEAT AND VENT
	HEAT, VENT AND LIGHT
	LANDSCAPING LIGHT
	FLOODLIGHT



1 Second Floor Electrical
1/4" = 1'-0"



3 Opt. Computer Niche - Electrical
1/4" = 1'-0"



4 Option - Bath 3
1/4" = 1'-0"

REVISIONS

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2nd Floor Plan
- Electrical

SHEET NO.

5.2

Plan Name
**Roosevelt
Collection
Traditions**
JOB NO.
406012
DATE
08/10/2004

REVISIONS

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1st Floor Plan

SHEET NO.

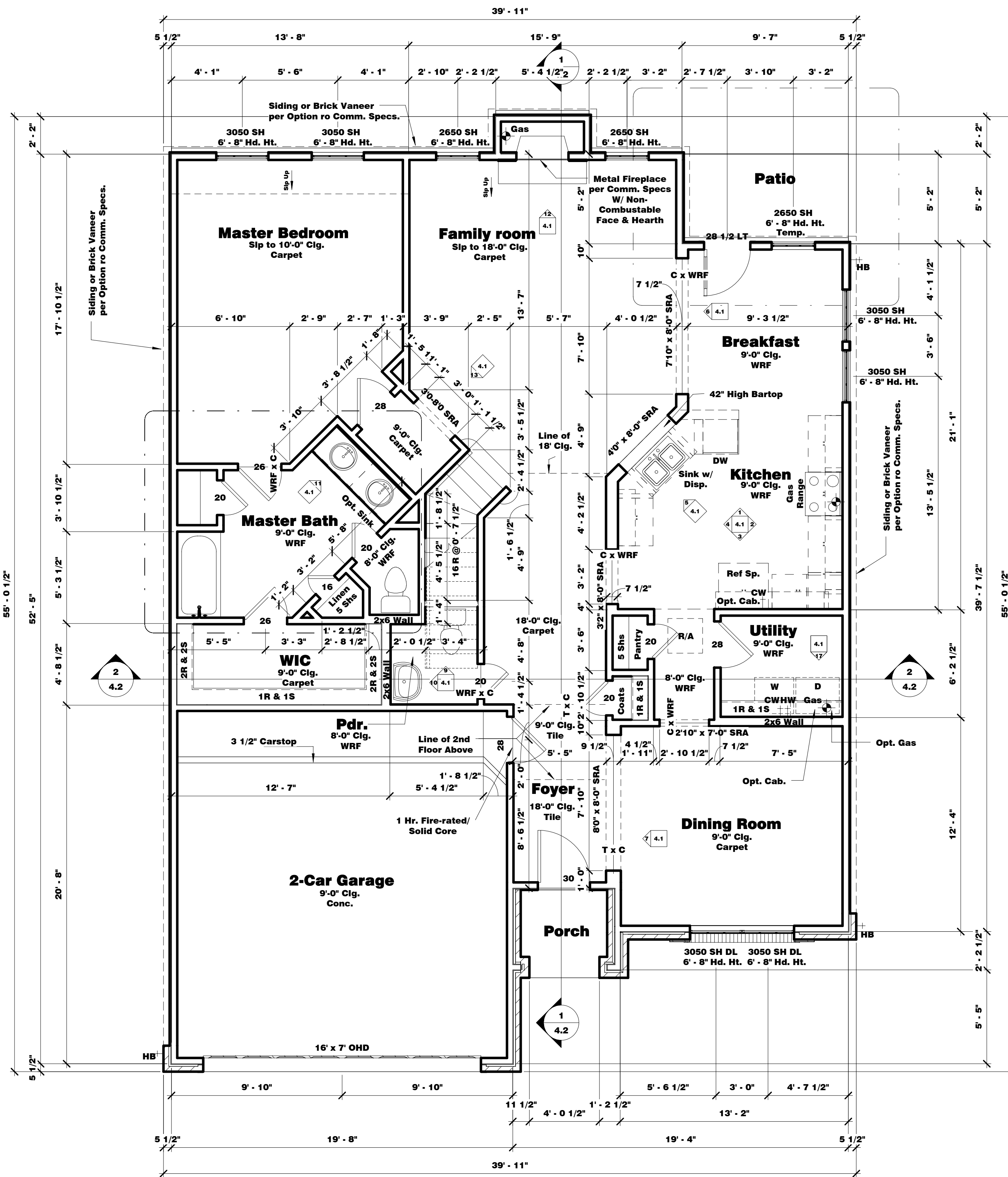
2.1

Plan Name
**Roosevelt
 Collection
 Traditions**
 JOB NO.
406012
 DATE
08/10/2004

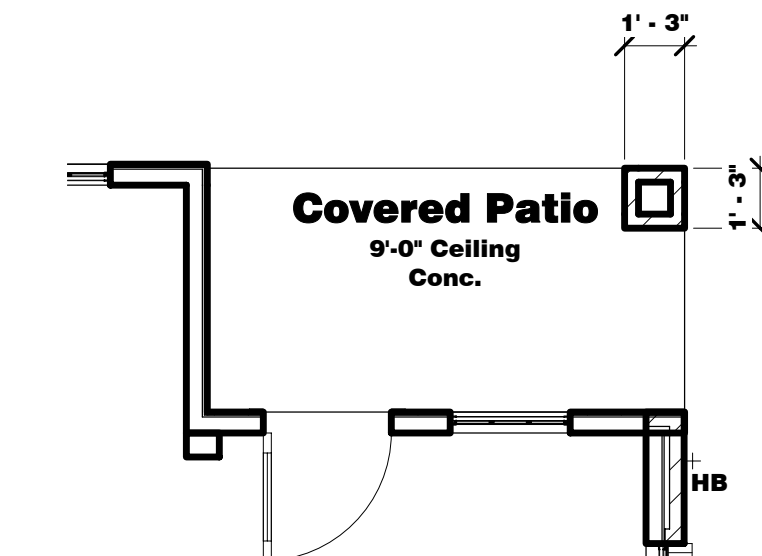
GENERAL NOTES:

(UNLESS OTHERWISE SPECIFIED.)

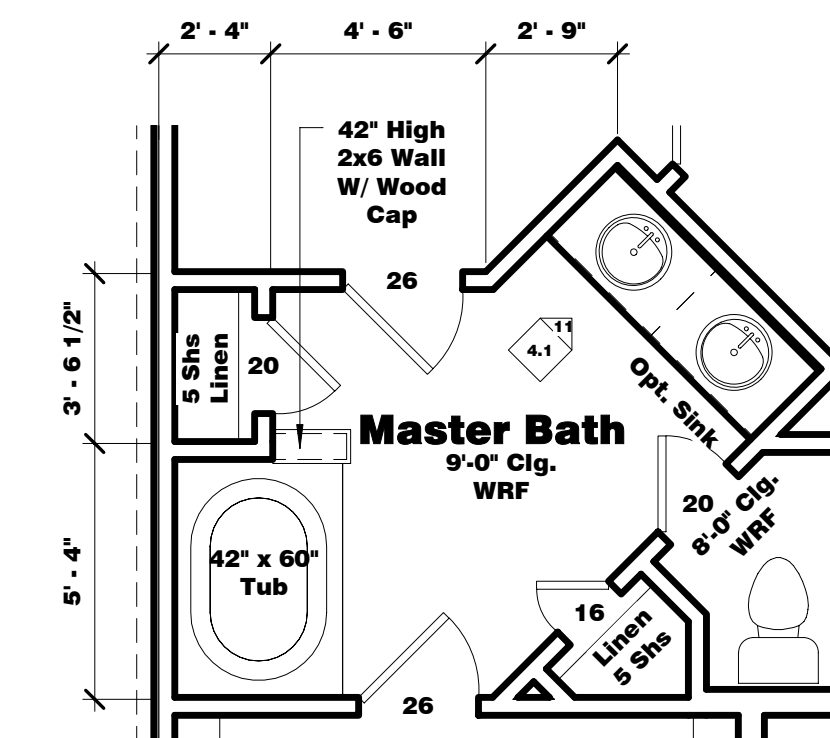
1. WRITTEN DIMENSIONS AND SPECS PREVAIL OVER SCALED DIMENSIONS AND VISUAL APPEARANCES.
2. ALL CEILING HEIGHTS ARE 9'-0" AT 1ST FLOOR AND 8'-0" AT 2ND FLOOR (U.O.S.)
3. ALL WINDOW HEADERS ARE 6'-8" (U.O.S.)
4. PROVIDE BLOCKING FOR FANS, TOWEL BARS, TOWEL RINGS, T.P. HOLDERS AND WALL CABINETS.
5. PROVIDE 5/8" TYPE "X" GYPSUM BOARD IN GARAGE AND ANY SPACE ACCESSIBLE UNDERNEATH STAIRS.
6. SET WTR. HTR. IN MTL. PAN W/ RELIEF LINE TO OUTSIDE. LOCATE IN ATTIC WHERE ALLOWED BY LOCAL CODE OR PER PLAN SET ON 20"Wx20"Wx20"H PLATFORM WHERE OTHERWISE REQ'D. BY LOCAL CODE. ENCLOSE IN CLOSET WHEN REQ'D. BY LOCAL CODE.
7. 5 SHELVES @ PANTRY & LINEN CLOSETS, W/ TOP SHELF @ 16" DEEP & BOTTOM 4 @ 24" DEEP, WHERE POSSIBLE.
8. GLAZING PER I.R.C. 2000 SECTION R608, OR APPLICABLE GOVERNING CODE. SAFETY/ TEMPERED GLASS SHALL BE INSTALLED IN LOCATIONS DEFINED AS HAZARDOUS BY APPLICABLE GOVERNING CODE.
9. ALL CONTRACTORS SHALL REVIEW PLANS AND NOTIFY BUILDER OF ANY REQUIRED CHANGES PRIOR TO COMMENCEMENT OF CONSTRUCTION.



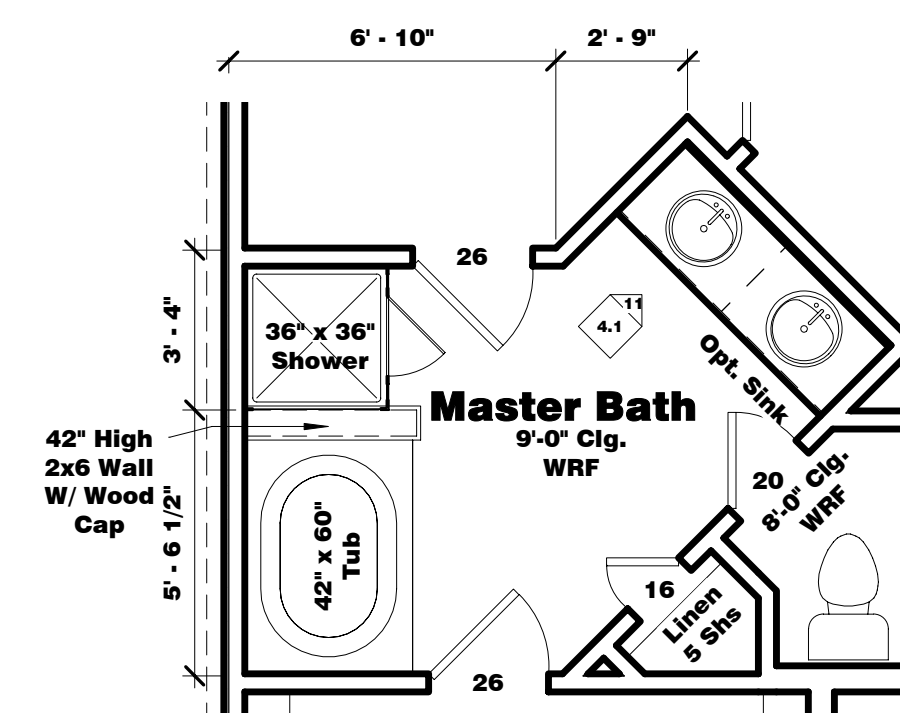
1 First Floor
 1/4" = 1'-0"



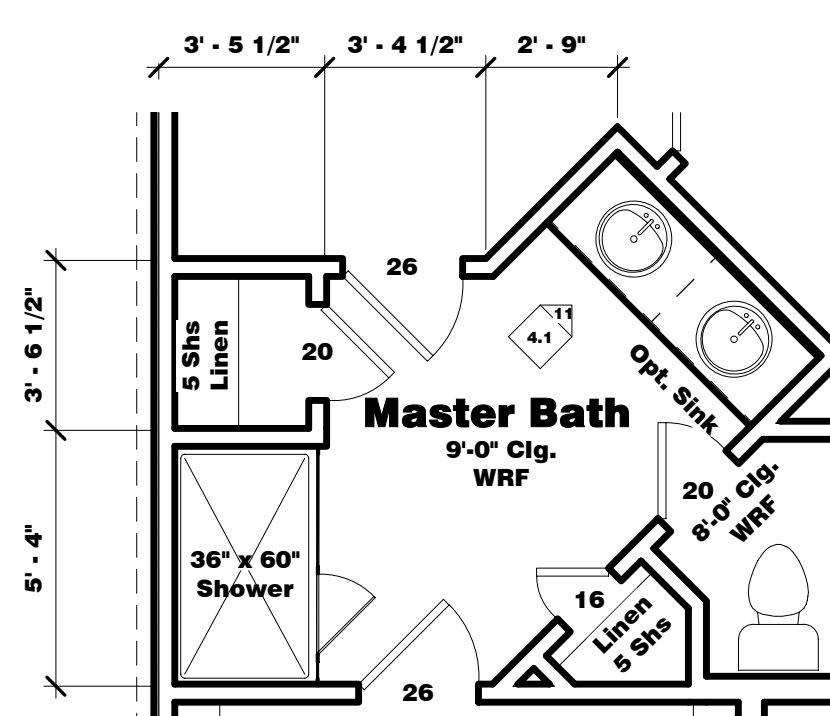
2 ZCall - Option - Covered Patio
 1/4" = 1'-0"



3 Opt. Enhanced M. Bath
 1/4" = 1'-0"



4 Opt. Luxury M. Bath
 1/4" = 1'-0"



5 Opt M. Bath W/ Walk-in Shower
 1/4" = 1'-0"